



**City of Kingston
Planning Committee
Meeting Number 03-2024
Agenda**

**Thursday, January 4, 2024 at 6:00 p.m.
Hosted at City Hall in Council Chamber**

Please provide regrets to Christine O'Connor, Committee Clerk at 613-546-4291, extension 1219 or cloconnor@cityofkingston.ca

Committee Composition

Councillor Cinanni, Chair
Councillor Chaves
Councillor Glenn
Councillor M^cLaren
Councillor Oosterhof
Councillor Osanic

The meeting being held tonight is a public meeting held under the Planning Act.

Notice of Collection – Personal information collected as a result of the public meetings are collected under the authority of the Planning Act and will be used to assist in making a decision on this matter. Persons speaking at the meeting are requested to give their name and address for recording in the minutes. All names, addresses, opinions and comments may be collected and may form part of the minutes which will be available to the public. Additionally, interested members of the public can email the Committee Clerk or the assigned planner if they wish to be notified regarding a particular application. Questions regarding this collection should be forwarded to the Director of Planning Services.

Tonight's meeting is to consider public meeting reports. These reports do contain a staff recommendation and the recommendation is typically to approve (with conditions) or to deny. After the planner's presentation, Committee members will be able to ask questions of staff, followed by members of the public. Following the question-and-answer period, this Committee then makes a recommendation on the applications to City Council who has the final say on the applications.

Following Council decision, notice will be circulated in accordance with the Planning Act. If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of Kingston to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of Kingston before the by-law is passed, the person or public body is not entitled to appeal the decision.

1. Meeting to Order

2. Approval of the Agenda

3. Confirmation of Minutes

- a) **That** the minutes of Planning Committee Meeting Number 02-2024, held Thursday, December 21, 2023, be approved.

4. Disclosure of Pecuniary Interest

5. Delegations

6. Briefings

7. Business

- a) **Subject: Recommendation Report**

File Number: D14-014-2023

Address: 705 Arlington Park Place

District: District 6 – Trillium

Application Type: Zoning By-Law Amendment

Owner: Tarnowecky Law

Applicant: Fotenn Planning + Design

The Report of the Commissioner of Growth & Development Services (PC-24-009) is attached.

Schedule Pages 1 -74

Recommendation:

That the Planning Committee recommends to Council:

That the application for a zoning by-law amendment (File Number D14-014-2023) submitted by Fotenn Planning + Design, on behalf of Tarnowecky Law, for the property municipally known as 705 Arlington Park Place, be approved; and

That Kingston Zoning By-Law Number 2022-62, as amended, be further amended, as per Exhibit A (Draft By-Law and Schedule A to Amend Zoning By-Law Number 2022-62) to Report Number PC-24-009; and

That Council determines that in accordance with Section 34(17) of the Planning Act, no further notice is required prior to the passage of the by-law; and

That the amending by-law be presented to Council for all three readings.

b) Subject: Recommendation Report

File Number: D35-012-2021

Address: 1075 Bayridge Drive

District: District 2 – Loyalist-Cataraqui

Application Type: Draft Plan of Subdivision and Zoning By-Law Amendment

Owner: Tamarack (Cataraqui West) Corporation

Applicant: Fotenn Planning + Design

The Report of the Commissioner of Growth & Development Services (PC-24-011) is attached.

Schedule 75 – 189

Recommendation:

That the Planning Committee recommends to Council:

That the applications for draft plan of subdivision and zoning by-law amendments (File Number D35-012-2021) submitted by Fotenn Planning + Design, on behalf of Tamarack (Cataraqui West) Corporation, for the property municipally known as 1075 Bayridge Drive, be approved; and

That the draft plan of subdivision be subject to the conditions as per Exhibit B (Draft Plan of Subdivision Conditions) to Report Number PC-24-011; and

That Kingston Zoning By-Law Number 2022-62, as amended, be further amended, as per Exhibit A (Draft By-Law and Schedule A and B to Amend Zoning By-Law Number 2022-62) to Report Number PC-24-011; and

That Council determines that in accordance with Section 34(17) of the *Planning Act*, no further notice is required prior to the passage of the by-law; and

That the amending by-law be presented to Council for all three readings.

8. Motions

9. Notices of Motion

10. Other Business

11. Correspondence

12. Date of Next Meeting

The next meeting of the Planning Committee is scheduled for Thursday, January 18, 2024 at 6:00 p.m.

13. Adjournment

1. Approved Site Plan Items:

- D11-014-2023 - 290 Queen Street
- D11-024-2021 – 705 Development Drive
- D11-046-2020 – 870 Centennial Drive
- D11-029-2021 – 2702 Highway 2
- D11-004-2023 – 1752 Bath Road
- D11-046-2020 – 870 Centennial Drive
- D11-016-2022 – 1533 McAdoos Lane
- D11-005-2023 – 44 Barbara Avenue
- D11-020-2021 – 151 Bath Road
- D11-031-2021 – 1200 Princess Street

2. Applications Appealed to the Ontario Land Tribunal:

1. 2 River Street – OLT-22-004597 – OPA/ZBA – 5-week Hearing set starting January 30, 2024.
2. 275 & 283 Queen Street – OLT-22-004553 – ZBA – Three party settlement agreement approved by Council. Settlement verbally approved by the OLT on November 22, 2023.
3. 1533 McAdoos Lane – Site Plan Control – Appeal withdrawn by applicant on November 27, 2023.

3. Links to Land Use Planning Documents:

Planning Act: <https://www.ontario.ca/laws/statute/90p13>

Provincial Policy Statement: <https://www.ontario.ca/page/provincial-policy-statement-2020>

City of Kingston Official Plan: <http://www.cityofkingston.ca/business/planning-and-development/official-plan>

City of Kingston Zoning By-Laws: <https://www.cityofkingston.ca/business/planning-and-development/zoning>



**City of Kingston
Report to Planning Committee
Report Number PC-24-009**

To: Chair and Members of the Planning Committee
From: Paige Agnew, Commissioner, Growth & Development Services
Resource Staff: Tim Park, Director, Planning Services
Date of Meeting: January 4, 2024
Subject: Recommendation Report
File Number: D14-014-2023
Address: 705 Arlington Park Place
District: District 6 - Trillium
Application Type: Zoning By-Law Amendment
Owner: Tarnowecky Law
Applicant: Fotenn Planning + Design

Council Strategic Plan Alignment:

Theme: 5. Drive Inclusive Economic Growth

Goal: 5.3 Diversify Kingston's economic base.

Executive Summary:

The following is a report recommending approval to the Planning Committee regarding an application for a zoning by-law amendment submitted by Fotenn Planning + Design, on behalf of Tarnowecky Law, with respect to the subject site located at 705 Arlington Park Place.

The subject site is designated as General Industrial in the Official Plan and is zoned General Industrial (M2) Zone in the Kingston Zoning By-Law. The purpose and effect of the proposed Zoning By-Law amendment is to facilitate the development of the subject site by enabling an office as a permitted standalone complementary use through a site-specific exception overlay to the M2 zone. The applicant is seeking to develop the vacant site with a two-storey building, with the office

use to occupy 100% of the gross floor area, located towards the south portion of the site. The proposed exception overlay does not modify any requirements to performance standards to facilitate the construction of the proposed development.

The development will feature enhanced landscaped open space along the north and east perimeter of the building as well as a portion of the street frontage and along the rear lot line.

A total of 49 on-site surface parking spaces are proposed, including three accessible parking spaces. A vehicular driveway is proposed from Arlington Park Place with clearly marked pedestrian pathways through the surface parking areas to connect the proposed building with a future planned sidewalk along the Arlington Park Place, street frontage. Two loading spaces are proposed in the southeast corner of the site, six short-term bicycle parking spaces are proposed adjacent to the north building entrance, and three long-term bicycle parking spaces are proposed interior of the building on the ground floor intended to be accessed from the garbage room.

The proposal will result in a two-storey standalone office building on the vacant subject site. The proposed development is consistent with the Provincial Policy Statement and conforms to the Official Plan, represents appropriate scale of infill development within the City's urban boundary.

Recommendation:

That the Planning Committee recommends to Council:

That the application for a zoning by-law amendment (File Number D14-014-2023) submitted by Fotenn Planning + Design, on behalf of Tarnowecky Law, for the property municipally known as 705 Arlington Park Place, be approved; and

That Kingston Zoning By-Law Number 2022-62, as amended, be further amended, as per Exhibit A (Draft By-Law and Schedule A to Amend Zoning By-Law Number 2022-62) to Report Number PC-24-009; and

That Council determines that in accordance with Section 34(17) of the *Planning Act*, no further notice is required prior to the passage of the by-law; and

That the amending by-law be presented to Council for all three readings.

Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Growth & Development Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

| | |
|--|--------------|
| Jennifer Campbell, Commissioner, Community Services | Not required |
| Neil Carbone, Commissioner, Corporate Services | Not required |
| David Fell, President & CEO, Utilities Kingston | Not required |
| Peter Huigenbos, Commissioner, Major Projects & Strategic Initiatives | Not required |
| Brad Joyce, Commissioner, Infrastructure, Transportation & Emergency Services | Not required |
| Desirée Kennedy, Chief Financial Officer & City Treasurer | Not required |

Options/Discussion:

Statutory Public Meeting

This recommendation report forms the basis of a statutory public meeting at Planning Committee. Anyone who attends the statutory public meeting may present an oral submission, and/or provide a written submission on the proposed application. Also, any person may make written submissions at any time before City Council makes a decision on the application.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of Kingston to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of Kingston before the by-law is passed, the person or public body is not entitled to appeal the decision. If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of Kingston before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Planning Committee will consider the recommendations in this report and make its recommendation to City Council at this meeting.

Anyone wishing to be notified of Council's decision on the subject application must submit a written request to:

Niki Van Vugt, Intermediate Planner
The Corporation of the City of Kingston
Planning Services
216 Ontario Street
Kingston, ON K7L 2Z3
613-546-4291 extension 3253
nvanvugt@cityofkingston.ca

Background and Decision Date

In accordance with By-Law Number 2007-43, this application was subject to a pre-application. A Community Meeting was held at Planning Committee on August 17, 2023 during the pre-application process. A summary of the feedback received at the Community Meeting is provided in the Public Comments section of this Report.

Following the pre-application process, a complete application was submitted by the applicant and was deemed to be complete as of November 3, 2023.

In accordance with the *Planning Act*, this application is subject to a decision by Council on or before February 1, 2024, which is 90 days after a complete application was received. In the absence of a decision by Council in this timeframe, the City will be required to refund the fees

that were paid by the applicant on the subject application and the applicant may exercise their right to appeal to the Ontario Land Tribunal (OLT).

Site Characteristics

The subject property is municipally addressed as 705 Arlington Park Place and is approximately 3,846 square metres in area with 30.5 metres of frontage on Arlington Park Place, which is designated as a local road (Exhibit B – Key Map). The property is located in the City’s west end, west of Gardiners Road, south of Taylor-Kidd Boulevard, and north of Progress Avenue and is currently vacant.

The lands are surrounded primarily by a variety of employment uses, including commercial, business park, personal service and light industrial uses (Exhibit C – Neighbourhood Context (2023)). A vacant parcel abuts the site to the east, various commercial, personal service, and health care uses are to the south of the property, and a light industrial use abuts the site to the west (Exhibit I – Site Photographs). Additional uses in this area include education services, wellness clinic uses to west, and a micro-brewery.

The surrounding area contains a mix of built form, predominantly featuring one-storey commercial, business park and light industrial buildings. The existing streetscape along Arlington Park Place features generally large front setbacks with front yard parking and landscaped buffers surrounding many of the individual buildings.

The subject property is well serviced with municipal infrastructure, including water and wastewater services. In addition, the property is serviced by sidewalks to the west and east of the subject site. The proposed development will contribute financially towards the future extension of a sidewalk along the south side of Arlington Park Place abutting the subject site. The property is within walking distance of regular transit routes which includes 14, 11, and 6 and express transit routes (701 and 702).

Proposed Application and Submission

The purpose of this application is to permit a standalone complementary office building as the principal use of the vacant property. While an office is a permitted accessory use to a principal use in the zoning by-law, the owner wishes to pursue an office use which may occupy 100% of the gross floor area of the proposed structure. The proposed development will consist of a two-storey office building located towards the south portion of the site. The development will feature enhanced landscaped open space along the north and east perimeter of the building as well as a portion of the street frontage and along the rear lot line.

A total of 49 on-site surface parking spaces are proposed, including three accessible parking spaces with one Type A and two Type B spaces. A vehicular driveway is proposed from Arlington Park Place with clearly marked pedestrian pathways through the surface parking areas to ensure appropriate and safe connection the proposed building with a future planned sidewalk along the Arlington Park Place street frontage. Two loading spaces are proposed in the southeast corner of the site, six short term bicycle parking spaces are proposed adjacent to the north building

entrance, and three long term bicycle parking spaces are proposed interior of the building on the ground floor intended to be accessed from the garbage room (Exhibit H – Proposed Site Plan).

In support of the application, the applicant has submitted the following:

- A Topographic Survey;
- A Conceptual Site Plan;
- A Floor Plans and Elevations;
- A Servicing Report;
- A Stormwater Management Report;
- A Noise Impact Study;
- A Landscape Plan;
- An Owner Authorization; and
- A Planning Justification Report.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Provincial Policy Statement

The Provincial Policy Statement (2020) provides policy direction on matters of provincial interest related to land use planning and development, which are intended to be complemented by local policies addressing local interests.

The subject lands are located within a Settlement Area as defined by the Provincial Policy Statement (2020) and developed with a mix of employment uses. Settlement Areas are to be the focus of growth, developed with a mix and range of land uses. The proposal would permit the introduction of an office use and support the continued diversification of the economic base of Kingston in an area that is appropriately serviced by municipal water, wastewater, active and public transportation routes.

A detailed review of the applicable policies is attached in Exhibit D.

Official Plan Considerations

The subject property is located within the City’s urban boundary and the Business District as shown on Schedule 2 – City Structure of the Official Plan. Business Districts are primarily intended to accommodate employment opportunities. The subject lands are designated General Industrial in the Official Plan (Exhibit E – Official Plan, Existing Land Use), which is intended to provide suitable areas for a broad range of employment uses that include manufacturing, warehousing, construction and transportation activities and other employment uses with similar operating characteristics and locational requirements.

The applicant proposes a complementary office use as it is identified as a permitted complementary use in the General Industrial designation and is permitted to be a standalone use, subject to demonstrating conformity with the policy criteria of Section 3.6.12. of the Official Plan. In this instance, the proposed introduction of a standalone complementary office use is intended to improve the quality of life and access to a diversity of services, while reducing automobile dependency for employees (present and future) in the broader employment area. The proposed Exception Overlay does not include the introduction of any sensitive uses and the office use is not more sensitive than the existing light industrial, business park and commercial uses in the immediate area. The proposed development has been designed to meet the performance standards of the zoning by-law and oriented towards Arlington Park Place, with the inclusion of landscaped open space along the road frontage to facilitate a more pleasant pedestrian experience.

In addition, the proposed development has been designed to occupy the vacant site to maximize the developable area of the site, ensure the functional needs for ingress and egress can be met, increase the number of jobs available on-site through the introduction of the employment use, and allow for the decrease of fragmentation by developing a site which has remained vacant for several years. The proposed complementary uses meet the criteria for permitting a standalone complementary use in employment areas.

Staff are of the opinion that the proposal conforms with the policies of the Official Plan. A detailed review of the applicable policies is attached in Exhibit F.

Zoning By-Law Discussion

The subject property is located in the General Industrial (M2) Zone in the Kingston Zoning By-Law (Exhibit G – Existing Zoning). The existing zoning permits, an office use, only as an accessory use to a principal use on the lot.

The purpose and effect of the proposed zoning by-law amendment is to enable an office as a standalone complementary use permitted to occupy 100% of the gross floor area of the proposed building through an Exception Overlay to the M2 zone. The proposed development is intended to meet the performance standards of the M2 Zone and all other applicable provisions of the by-law (e.g., vehicular parking, loading spaces, bike parking, etc.). Additional relief from the performance standards of the zoning by-law is not being sought at this time.

The M2 zone was established through the development of the new Kingston Zoning By-Law with the intent of aligning properties within the General Industrial area with the General Industrial policies. In review of the eclectic range of existing uses and built form in the surrounding area, the proposed development of the vacant parcel is anticipated to be compatible.

The following table provides a comparison of the requirements of the zoning by-law for the existing M2 zone against the proposed Exception Overlay.

Table 1 – Zoning Comparison Table

| Zone Provision | Existing M2 Zone | Proposed Exception E146 |
|----------------|--|---|
| Permitted Uses | <ul style="list-style-type: none"> • Automobile body shop • Automobile repair shop • Catering service • Contractor’s yard • Equipment rental • Feedmill • Heavy equipment of truck repair shop • Industrial repair shop • Light industrial use • Office, is permitted only as an accessory use to a principal use on the lot • Outdoor storage, is permitted only as an accessory use to a principal use on the lot • Repair shop • Retail store, is permitted only as an accessory use to a principal use on the lot and is limited to a maximum gross floor area of 25% of the gross floor area of the principal use. | <ul style="list-style-type: none"> • Office as a complementary use, permitted up to 100% of the total gross floor area |

| | | |
|--|--|--|
| | <ul style="list-style-type: none"> • Self-service storage facility • Towing compound • Transportation depot • Warehouse • Wholesale establishment • Workshop | |
|--|--|--|

The proposal seeks to establish an office as a standalone principal use on the vacant subject site. Currently, the M2 zone permits, an office use as an accessory use to a principal use on the property. Section 3.6.12. of the Official Plan contemplates standalone complementary uses on a case-by-case basis, subject to meeting specific criteria.

Limitations to the type of uses established through the Zoning By-Law reflect an intention to preserve the nature of the industrial area and ensure that compatible development is facilitated in the area. The proposed standalone complementary office use allows for the development of a vacant, underutilized parcel serviced by municipal water and wastewater within the urban boundary. The proposed principal office use will increase the range of available services in this specific area and facilitate access to this service, to the surrounding employees and visitors of the employment area. The proposed standalone office use is not anticipated to hinder or prevent the existing or expanded employment uses in the area as no sensitive use is identified through the proposed exception overlay and there are several other office uses in the vicinity.

Other Applications

No other applications have been submitted at this time. A future application for Site Plan Control Pre-Application and Site Plan Control will be required to facilitate the proposed development.

Technical Analysis

This application has been circulated to external agencies and internal departments for review and comment. All comments on the proposal have been addressed and no outstanding issues with this application remain at this time for the purpose of supporting the Zoning By-Law Amendment application. Further detailed analysis will be undertaken at the time of future Site Plan Control submissions.

Public Comments

The following is a summary of the public input received to-date. Only one comment was received from a member of the public at the Community Meeting:

Question: In light of a need for more residential units in the city, would the applicant be willing to include a residential portion to the proposed development?

Response: The subject property is located within the General Industrial area of the City, where intended development is meant for employment purposes. In order to facilitate the inclusion of residential units, the proposal would require an Official Plan amendment, which the applicant was not considering.

Effect of Public Input on Draft By-Law

None

Conclusion

In conclusion, the proposed Zoning By-Law amendment to establish an office as a permitted standalone complementary use is recommended for approval as detailed within this report. The amendment would permit the development of a two-storey office building and would maintain a diversity of employment and commercial uses within the General Industrial area. Any new development would be required to meet the performance standards of the zoning by-law and ensure that proper functioning of the General Industrial area in a manner that is compatible with surrounding uses is maintained. The recommendation within this report is consistent with the PPS, conforms to the general intent of the City's Official Plan and represents good land use planning.

Existing Policy/By-Law:

The proposed amendment was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Planning Act

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 2022-62

Notice Provisions:

Pursuant to the requirements of the *Planning Act*, notice of the statutory public meeting was provided 20 days in advance of the public meeting in the form of a sign posted on the subject property and by mail to 20 property owners (according to the latest Assessment Rolls) within 120 metres of the subject property (Exhibit J – Public Notice Notification Map). In addition, a courtesy notice placed in The Kingston Whig-Standard on December 28, 2023.

If the application is approved, a Notice of Passing will be circulated in accordance with the provisions of the *Planning Act*.

At the time of writing of this report, 0 pieces of written public correspondence have been received and all planning related matters have been addressed within the body of this report. Any public correspondence received after the publishing of this report will be included as an addendum to the Planning Committee agenda.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Niki Van Vugt, Intermediate Planner, 613-546-4291 extension 3253

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

Exhibit A Draft By-Law and Schedule A to Amend Zoning By-Law Number 2022-62

Exhibit B Key Map

Exhibit C Neighbourhood Context (2023)

Exhibit D Consistency with the Provincial Policy Statement

Exhibit E Official Plan, Existing Land Use

Exhibit F Conformity with the Official Plan

| | |
|-----------|---------------------------------------|
| Exhibit G | Kingston Zoning By-Law Number 2022-62 |
| Exhibit H | Proposed Site Plan |
| Exhibit I | Site Photographs |
| Exhibit J | Public Notice Notification Map |
| Exhibit K | Elevations |

By-Law Number 2024-XX

A By-Law to Amend By-Law Number 2022-62, “Kingston Zoning By-Law Number 2022-62” (Introduction of Exception Number ‘E146’, (705 Arlington Park Place))

Passed: [Meeting Date]

Whereas the Council of The Corporation of the City of Kingston enacted By-Law Number 2022-62, “Kingston Zoning By-Law Number 2022-62” (the “Kingston Zoning By-Law”);

Whereas the Council of The Corporation of the City of Kingston deems it advisable to amend the Kingston Zoning By-Law to introduce a new exception number;

Therefore be it resolved that the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 2022-62 of The Corporation of the City of Kingston, entitled “Kingston Zoning By-Law Number 2022-62”, is amended as follows:
 - 1.1. Schedule E – Exception Overlay is amended to add Exception Number E146, as shown on Schedule “A” attached to and forming part of this By-Law.
 - 1.2. By adding the following Exception Number E146 in Section 21 – Exceptions, as follows:

“**E146.** Despite anything to the contrary in this By-law, the following provisions apply to the lands subject to this Exception:

 - (a) The following **complementary use** is permitted, up to 100% of the total **gross floor area**, in the aggregate:
 - (i) **Office.**”
2. This By-Law shall come into force in accordance with the provisions of the *Planning Act*.

Given all Three Readings and Passed: [Meeting Date]

Janet Jaynes
City Clerk

Bryan Paterson
Mayor



Schedule 'A' to By-Law Number

Kingston Zoning By-Law 2022-62 Schedule E - Exception Overlay

Address: 705 Arlington Park Place
File Number: D14-014-2023

Lands to be added as E146

Planning
Services

Certificate of Authentication

This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 202_.

Mayor

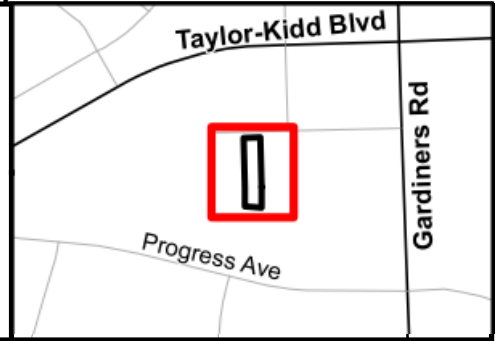
Clerk



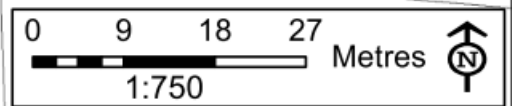


Planning Committee
Key Map
Address: 705 Arlington Park Place
File Number: D14-014-2023

 Subject Lands



Arlington Park Pl








Planning Services

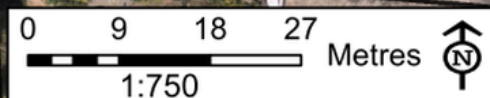
Planning Committee Neighbourhood Context (2023)

Address: 705 Arlington Park Place

File Number: D14-014-2023

-  Subject Lands
-  Property Boundaries
-  Proposed Parcels

Arlington Park Pl



Prepared By: lchu
Date: Nov-06-2023

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Demonstration of How the Proposal is Consistent with the Provincial Policy Statement

| Policy Number | Policy | Category | Consistency with the Policy |
|---------------|--|-------------------------------------|---|
| 1.1.1 | <p>Healthy, livable and safe communities are sustained by:</p> <p>a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;</p> <p>b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;</p> <p>c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;</p> <p>d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;</p> <p>e) promoting the integration of land use planning, growth</p> | Building Strong Healthy Communities | <p>The proposal seeks to enable an office as a permitted standalone complementary use on the vacant, underutilized property. The property is located in the urban boundary, an area planned for employment uses. The proposed standalone office use will diversify the economic base of the surrounding employment area, which contain a mix of light industrial, business park, and commercial uses, further contributing to the City's employment opportunities.</p> <p>It is anticipated that there will be no negative environmental or public health safety implications as a result of the proposed development. The proposal will not require or prevent potential future expansion of the settlement area. The proposal will efficiently utilize existing infrastructure, including municipal water and sanitary infrastructure, roads, transit, snow</p> |

| Policy Number | Policy | Category | Consistency with the Policy |
|----------------------|--|------------------|---|
| | <p>management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;</p> <p>f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;</p> <p>g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;</p> <p>h) promoting development and land use patterns that conserve biodiversity; and</p> <p>i) preparing for the regional and local impacts of a changing climate.</p> | | <p>plowing, and secondary utilities, which represents cost-effective development.</p> <p>The proposal will comply with the Accessibility for Ontarians with Disabilities Act (AODA). The subject property does not contain, nor is located in proximity, to any environmental features or areas. The proposed development of the vacant property is not anticipated to have any environmental implications. The proposal will incorporate landscaping and stormwater management measures which will reduce the overall impact to the existing storm sewer system. The proposed office building will be constructed to Ontario Building Code standards in terms of energy efficiency. The proposed development is located in an area served by public transit, which will support transit use and active transportation options.</p> |
| 1.1.3.1 | Settlement areas shall be the focus of growth and development. | Settlement Areas | The subject property is located within the City's Urban Boundary, which |

| Policy Number | Policy | Category | Consistency with the Policy |
|---------------|---|------------------|--|
| | | | is defined as the Settlement Area of the City and where growth and development is directed. |
| 1.1.3.2 | <p>Land use patterns within settlement areas shall be based on densities and a mix of land uses which:</p> <ul style="list-style-type: none"> a) efficiently use land and resources; b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion; c) minimize negative impacts to air quality and climate change, and promote energy efficiency; d) prepare for the impacts of a changing climate; e) support active transportation; f) are transit-supportive, where transit is planned, exists or may be developed; <p>Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.</p> | Settlement Areas | <p>See Section 1.1.1.</p> <p>The introduction of a standalone complementary office use to the site is supportive of active transportation and transit, as employees found in the surrounding area may choose to walk, bike, or transit to access the services offered on-site.</p> |
| 1.1.3.4 | Appropriate development standards should be promoted which facilitate intensification, | Settlement Areas | The vacant underutilized land is located within an industrial area which is |

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| | redevelopment and compact form, while avoiding or mitigating risks to public health and safety. | | separate from residential designated areas. No sensitive uses are proposed to be introduced through this proposal. |
| 1.3.1 | <p>Planning authorities shall promote economic development and competitiveness by:</p> <ul style="list-style-type: none"> a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs; b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; c) facilitating the conditions for economic investment by identifying strategic sites for investment, monitoring the availability and suitability of employment sites, including market-ready sites, and seeking to address potential barriers to investment; d) encouraging compact, mixed-use development that incorporates compatible employment uses to support livable and resilient communities, with consideration of housing policy 1.4; and | Employment | <p>The subject site is situated in an area predominantly comprised of existing light industrial, business park and commercial uses and is intended for employment uses. The proposed development is designed to be compatible with the nature of the surrounding area and represents an efficient use of available municipal infrastructure. The proposed development will contribute to supplying a range of employment opportunities in the City, with a functional site layout.</p> |

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| | e) ensuring the necessary infrastructure is provided to support current and projected needs. | | |
| 1.3.2.1 | Planning authorities shall plan for, protect and preserve employment areas for current and future uses and ensure that the necessary infrastructure is provided to support current and projected needs. | Employment Areas | The application does not seek to remove the existing permitted uses identified in the General Industrial M2 Zone of the Zoning By-Law. Instead, it permits an office as a standalone complementary use, able to occupy 100% of the gross floor area of the site. At this time, the M2 Zone only permits an office as an accessory use to a principal use on the property. Based on the existing uses in the surrounding area, and permitting the range of uses afforded through the M2 Zone, the proposal is not contemplated to impact the industrial nature of the area. |
| 1.3.2.3 | Within employment areas planned for industrial or manufacturing uses, planning authorities shall prohibit residential uses and prohibit or limit other sensitive land uses that are not ancillary to the primary employment uses in order to maintain land use compatibility. | Employment Areas | The proposed office use is not identified as a sensitive land use. As such, it is anticipated that the introduction of an office as standalone complementary use on the vacant property will continue to maintain land use compatibility immediately adjacent to |

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| | Employment areas planned for industrial or manufacturing uses should include an appropriate transition to adjacent non-employment areas. | | and in the surrounding area. |
| 1.3.2.6 | Planning authorities shall protect employment areas in proximity to major goods movement facilities and corridors for employment uses that require those locations. | Employment Areas | The subject property has frontage on Arlington Park Place, a local road. The proposal will development the property with an office as a standalone complementary use which will support the diversification of the surrounding employment area. |
| 1.6.3 | <p>Before consideration is given to developing new infrastructure and public service facilities:</p> <p>a) the use of existing infrastructure and public service facilities should be optimized; and</p> <p>b) opportunities for adaptive re-use should be considered, wherever feasible</p> | Infrastructure and Public Service Facilities | The proposed zoning by-law amendment will permit an office as a standalone complementary use on the vacant parcel in the urban boundary. The subject site is one of two properties, second property adjacent to the subject property and municipally addressed as 695 Arlington Park Place, which have remained vacant since the surrounding area was developed in the late 1980s. This proposal will allow the proponent to use, and re-use the site, for a wider range of employment activities that better suit the |

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| | | | needs of the surrounding area. The site will efficiently utilize municipal infrastructure and public transit services. |
| 1.6.6.2 | Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services. | Sewage, Water and Stormwater | The proposal is to be serviced through municipal sewage and water facilities. Through the submission materials, the applicant has confirmed that existing municipal water and sewer services are adequate to support the proposed standalone office building. |
| 1.6.6.7 | Planning for stormwater management shall: a) be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and financially viable over the long term; b) minimize, or, where possible, prevent increases in contaminant loads; c) minimize erosion and changes in water balance, and prepare for the impacts of a changing climate through the effective management of stormwater, including the use of green infrastructure; | Sewage, Water and Stormwater | A Stormwater Management Report was prepared by Josselyn Engineering, dated June 1, 2023, and a revised version submitted to staff on September 23, 2023, to determine the on-site stormwater management requirements for the proposed development. The revised Stormwater Management Report prepared to assess the proposed development confirms adequate |

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| | <p>d) mitigate risks to human health, safety, property and the environment; e) maximize the extent and function of vegetative and pervious surfaces; and f) promote stormwater management best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development.</p> | | <p>drainage measures will be incorporated into the design of the site to meet the City's requirements to control post-development runoff to pre-development levels.</p> |
| 1.6.7.4 | <p>A land use pattern, density and mix of uses should be promoted that minimize the length and number of vehicle trips and support current and future use of transit and active transportation.</p> | Transportation Systems | <p>The proposed development is in an area serviced by active transportation opportunities and transit routes; however, the area is not generally pedestrian-oriented based on the existing location of sidewalks along Arlington Park Place. At Site Plan Control, the applicant will be responsible for designing a sidewalk along the frontage of the property and will either be required to pay cash-in-lieu or complete the sidewalk at their expense. The applicant is proposing to supply the required number of short-term and long-term bicycle parking spaces, which will continue to encourage and support active transit</p> |

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| | | | opportunities to the vacant subject site. |
| 1.7.1 | <p>Long-term economic prosperity should be supported by:</p> <ul style="list-style-type: none"> a) promoting opportunities for economic development and community investment-readiness; c) optimizing the long-term availability and use of land, resources, infrastructure and public service facilities; d) maintaining and, where possible, enhancing the vitality and viability of downtowns and mainstreets e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes; g) providing for an efficient, cost-effective, reliable multimodal transportation system that is integrated with adjacent systems and those of other jurisdictions, and is appropriate to address projected needs to support the movement of goods and people; i) sustaining and enhancing the viability of the agricultural system through protecting agricultural resources, minimizing land use conflicts, providing opportunities to support local | Long-Term Economic Prosperity | <p>See Sections 1.1.1., 1.1.3.2., and 1.1.3.</p> <p>The inclusion of an office as a permitted standalone use is not anticipated to impact the vitality or viability of Kingston’s downtown and mainstreets. The proposal will support the long-term economic prosperity of the City.</p> <p>Directing new development on vacant underutilized parcels within the urban area helps to ensure the protection of the agricultural system and minimizes impacts to natural heritage features in the City.</p> |

| Policy Number | Policy | Category | Consistency with the Policy |
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| | <p>food, and maintaining and improving the agrifood network;</p> <p>k) minimizing negative impacts from a changing climate and considering the ecological benefits provided by nature; and</p> <p>l) encouraging efficient and coordinated communications and telecommunications infrastructure.</p> | | |
| 1.8.1 | <p>Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:</p> <p>a) promote compact form and a structure of nodes and corridors;</p> <p>b) promote the use of active transportation and transit in and between residential, employment (including commercial and industrial) and institutional uses and other areas;</p> <p>c) focus major employment, commercial and other travel-intensive land uses on sites which are well served by transit where this exists or is to be developed, or designing these to facilitate the establishment of transit in the future;</p> <p>e) encourage transit-supportive development and intensification to improve the</p> | Energy Conservation, Air Quality and Climate Change | <p>See Sections 1.1.1. and 1.6.7.4.</p> <p>The subject site is in walking distance to transit routes, including regular routes (14, 11, 6) and express routes (702/701). Bus stops are located approximately 270 metres west of a transit stop located on the west side of Gardiners Road and approximately 260 metres south of a transit stop on the north side of Taylor Kidd Boulevard. The Cataraqui Centre Transfer Point is located approximately 1.2 kilometres north of the site and provides connections to a variety of transit routes located throughout the City.</p> <p>Adequate stormwater management measures will be incorporated into the development to</p> |




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| | <p>mix of employment and housing uses to shorten commute journeys and decrease transportation congestion;</p> <p>f) promote design and orientation which maximizes energy efficiency and conservation, and considers the mitigating effects of vegetation and green infrastructure; and</p> <p>g) maximize vegetation within settlement areas, where feasible.</p> | | <p>reduce the overall impact to the existing storm sewer system. Enhanced landscaped areas will be provided along the property's road frontage, along the rear lot line and abutting the north and east portions of the building.</p> |



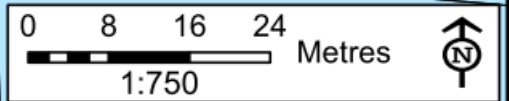
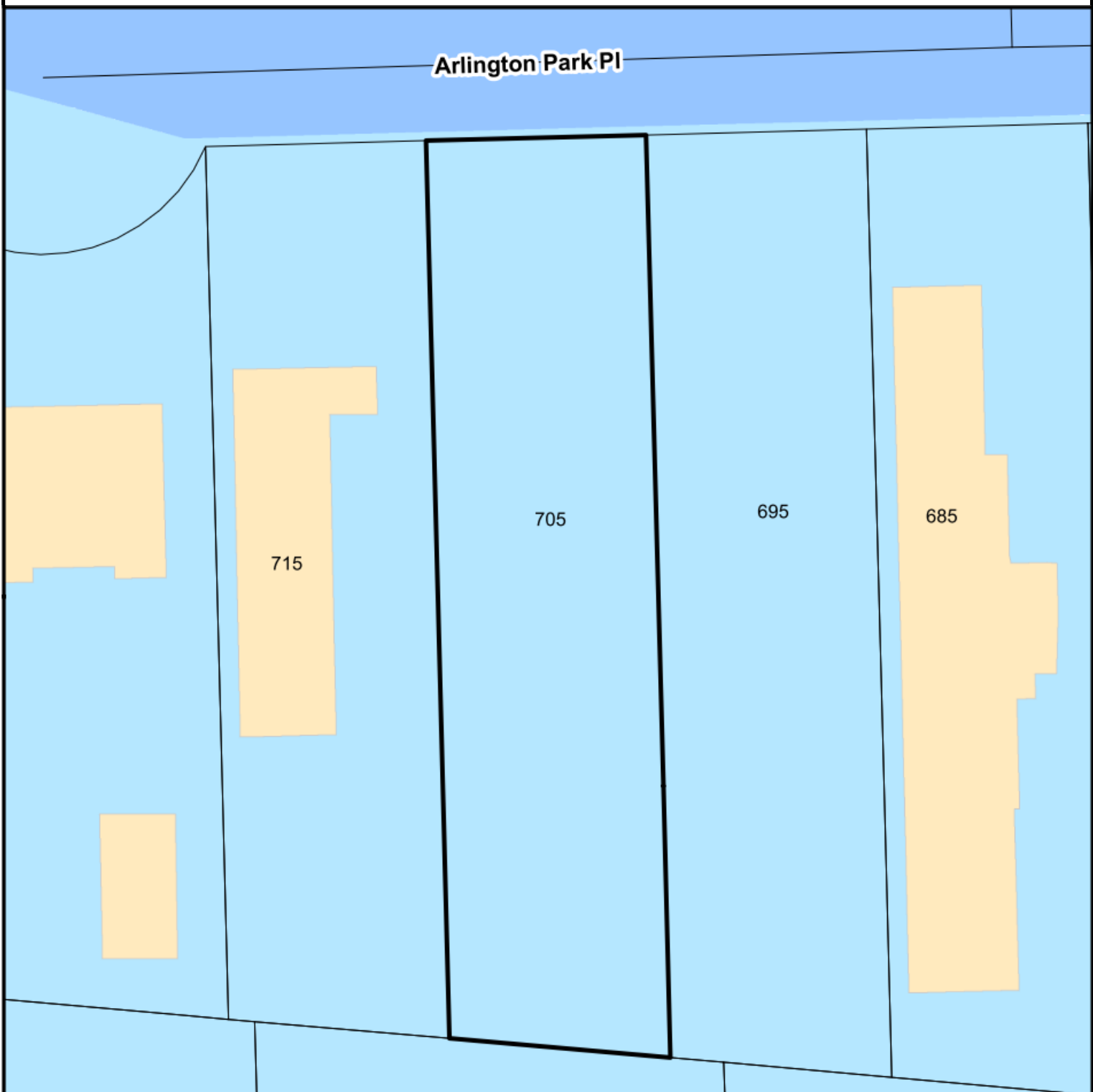
Planning Services

Planning Committee
Official Plan, Existing Land Use

Address: 705 Arlington Park Place
File Number: D14-014-2023

-  Subject Lands
-  BUSINESS PARK INDUSTRIAL
-  GENERAL INDUSTRIAL

Arlington Park Pl



Demonstration of How the Proposal Conforms to the Official Plan

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| <p>2.1.1. Most growth will occur within the Urban Boundary, shown on Schedule 2, where development will be directed to achieve greater sustainability through:</p> <ul style="list-style-type: none"> b. land use patterns that foster transit and active transportation; e. direction of new development and key land uses to areas where they can best result in sustainable practices; f. promotion of employment opportunities and alliances that enhance local skills, educational resources and the use of local products, including food; g. maximized use of investments in infrastructure and public amenities; h. strategies that will revitalize both neighbourhoods and employment areas, and rehabilitate brownfield sites for re-use; j. where possible, the preservation of mature trees for shade and their other beneficial ecological and community effects; k. climate positive development; l. promotion of green infrastructure to complement infrastructure; | <p>Urban Areas – Focus of Growth</p> | <p>The subject site is located within the Urban Boundary, where growth is to be focused within the city. The proposal represents an efficient use of land in proximity to the Gardiners Road corridor, within a mixed light industrial, commercial and business park area.</p> <p>The site is located near transit and active transportation infrastructure. The proposed development will contribute financially towards the future extension of a sidewalk along the south side of Arlington Park Place abutting the subject site.</p> <p>The subject lands are currently vacant but servicing studies confirm the proposal will efficiently utilize existing infrastructure, including municipal water and sanitary infrastructure. The additional permission for an office as a standalone complementary use will complement the broad range of light industrial, business park and commercial uses in the area and will broaden the range of employment opportunities and business services in proximity to surrounding residential areas.</p> |

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| <p>m. encouraging a mix of land uses that provide for employment, education, personal service and convenience retail in close proximity to residential land uses, subject to compatibility matters as outlined in Section 2.7;</p> | | |
| <p>2.2.4. The Urban Boundary shown by the dashed line on Schedule 2 has been established to recognize the substantially built up areas of the City where major sewer, water and transportation infrastructure has been planned. The land within the Urban Boundary will be the focus of growth and development in the City and contains sufficient land to accommodate the projected growth for a planning horizon of 2036. The Area Specific Phasing area within the Urban Boundary is subject to site-specific urban growth management policies. The Special Planning Area sites are also within the Urban Boundary and are now committed to a substantial land use but could accommodate future growth</p> | <p>City Structure - Urban Boundary</p> | <p>See Section 2.1.1.</p> |
| <p>2.2.6. Business Districts are primarily intended to accommodate employment opportunities. These include General Industrial and Business Park Industrial designations, as well as the Waste Management Industrial designation and limited retail</p> | <p>City Structure - Business Districts</p> | <p>The subject property is not adjacent to or in close proximity to any sensitive uses in the area. The applicant is not proposing any sensitive uses as part of this application.</p> <p>The introduction of office uses to the site is not anticipated to prevent the current operation</p> |

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| <p>and service commercial uses that serve business activities. The Norman Rogers Airport is also recognized as being in a Business District under an Airport designation. Regional Commercial uses and some specialized quasi-commercial uses will be limited to the permitted uses for the specific designations, as described in Section 3. Standards in Business Districts will be sufficiently flexible to allow a ready response to new types of employment uses provided that:</p> <p>a. areas of interface with sensitive uses are addressed so that compatible development is achieved and there is no adverse effect on the sensitive use or to the proposed employment use(s);</p> <p>b. an upgraded visual appearance is maintained at gateways as defined in Section 8.11, along major roads and the interface with any Centre, Corridor or Housing District shown on Schedule 2;</p> <p>c. uses which may involve noise or odour are sufficiently separated, buffered, or screened in accordance with the Ministry of the Environment and Climate Change Guidelines (D-1 and D-6) or any such further regulation implemented by the City, as applicable;</p> | | <p>or future expansion of employment uses in the surrounding area and is intended to support the vitality of the area.</p> <p>The subject site is not located within or adjacent to gateways, Centres, Corridors or Housing Districts. The proposal represents the development of a currently vacant parcel, one of two remaining vacant parcels with frontage on Arlington Park Place. The development will contribute to an improved visual appearance of the site along Arlington Park Place.</p> <p>The proposal is not anticipated to produce excess levels of noise or odour. The proposed office use is not anticipated to generate large amounts of traffic or have intensive onsite operations.</p> <p>There are no regional commercial, institutional, recreational or hospitality uses proposed as part of this application. The proposed office use will work in conjunction with the surrounding existing and future employment uses to further support the vitality of the employment area.</p> |

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| <p>d. uses which generate large amounts of traffic or have intensive onsite operations are located in areas that are able to accommodate, or can be improved to accommodate, such activity levels without adverse effects on the planned transportation system, the nearby Housing Districts, Centres or Corridors; and,</p> <p>e. regional commercial uses, institutions, recreation or hospitality uses will be restricted to limited locations that will not undermine the business park, industrial or technological uses intended as the focus of Business Districts.</p> | | |
| <p>2.3.1. The focus of the City's growth will be within the Urban Boundary, shown on Schedule 2, where adequate urban services exist, or can be more efficiently extended in an orderly and phased manner, as established by this Plan. Kingston's Water Master Plan and Sewer Master Plan will guide the implementation of the infrastructure planning.</p> | <p>Principles of Growth – Growth Focus</p> | <p>See Section 2.1.2.</p> <p>The proposal will utilize existing municipal infrastructure, as demonstrated in the Servicing Report submitted as part of the application.</p> |
| <p>2.3.7. The City will promote and protect employment areas and pursue increased levels of job creation in the commercial, institutional and industrial sectors in order to foster a diversified and vigorous economic base with</p> | <p>Principles of Growth - Employment</p> | <p>The proposed development will introduce an employment use to the currently vacant parcel, which will contribute to the variety of employment opportunities available in the area.</p> |

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| a range of opportunities for its residents. | | |
| 2.3.11. In order to implement the Strategic Direction of the Kingston Transportation Master Plan, active transportation will be aggressively promoted with greater emphasis on pedestrians, cyclists and transit, and accessibility for all residents and visitors. | Principles of Growth - Transportation | See Section 2.1.1. |
| 2.3.18. Through the prevention and removal of barriers for persons with disabilities, and the application of universal design principles, the City supports and promotes opportunities for all people to access the City and make contributions as citizens. The application of universal design principles in development and renovation is promoted. The City also encourages owners of private properties with public access to do the same. | Principles of Growth – Accessibility | The proposal will comply with the Accessibility for Ontarians with Disabilities Act (AODA). The proposal provides sufficient on-site vehicle parking, including three accessible parking space, to support the proposed use, as well as provide flexibility for future uses of the site. |
| 2.4.1. The City supports sustainable development of a compact, efficient, urban area with a mix of land uses and residential unit densities that optimize the efficient use of land in order to: a. reduce infrastructure and public facility costs; b. reduce energy consumption and greenhouse gas emissions; | Phasing of Growth - Vision | See Section 2.1.1. |

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| <p>c. support active transportation and viable public transit;</p> <p>d. conserve agriculture and natural resources within the City; and</p> <p>e. reduce reliance on private vehicles.</p> | | |
| <p>2.6.1. It is the intent of this Plan to promote development in areas where change is desired while protecting stable areas from incompatible development or types of development and rates of change that may be destabilizing.</p> | <p>Protecting Stable Areas – Stable Areas</p> | <p>See Section 2.2.6.</p> |
| <p>2.7.3. The land use compatibility matters to be considered under Section 2.7.2 include, but are not limited to:</p> <p>a. shadowing;</p> <p>b. loss of privacy due to intrusive overlook;</p> <p>c. increased levels of light pollution, noise, odour, dust or vibration;</p> <p>d. increased and uncomfortable wind speed;</p> <p>e. increased level of traffic that can disrupt the intended function or amenity of a use or area or cause a decrease in the functionality of active transportation or transit;</p> <p>f. environmental damage or degradation;</p> <p>g. diminished service levels because social or physical infrastructure necessary to</p> | <p>Land Use Compatibility Principles – Land Use Compatibility Matters</p> | <p>The proposal includes the construction of a two storey building on the vacant property. The proposed Exception Overlay E146 does not look to alter any of the permitted uses performance standards under the M2 Zone of the Kingston Zoning By-law, more specifically no increases to maximum height or required setbacks. As such, compatibility matters such as shadowing, intrusive overlook, or wind are not anticipated to be impacted through this proposal.</p> <p>The proposed development is not anticipated to result in any disruption to the functionality of traffic, active transportation, or transit. The development is within walking distance to transit stops and routes (regular and express routes) and active transportation infrastructure is being provided</p> |

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| <p>support a use or area are overloaded;</p> <p>h. reduction in the ability to enjoy a property, or the normal amenity associated with it, including safety and access, outdoor areas, heritage or setting;</p> <p>i. visual intrusion that disrupts the streetscape or buildings;</p> <p>j. degradation of cultural heritage resources;</p> <p>k. architectural incompatibility in terms of scale, style, massing and colour; or,</p> <p>l. the loss or impairment of significant views of cultural heritage resources and natural features and areas to residents.</p> | | <p>on-site through the introduction of short-term and long-term bike parking. A total of 49 parking spaces and 3 accessible spaces are proposed through this development which will allow for sufficient on-site parking to facilitate access. A vehicle entrance is proposed from Arlington Park Place and parking is located in the front and rear yards with a two-way drive aisle proposed to ensure ease of vehicle movement through the site.</p> <p>The subject site is located within an existing industrial area. In light of the site-specific context, compatibility with regard to light pollution, noise, odour, dust or vibration will not be impacted. The proposal seeks to develop the subject site, an existing vacant property, with a two-storey office building and surface parking. A landscaped area is proposed along the property frontage will assist to visually screen the parking and building from the streetscape.</p> <p>There are no known cultural heritage features on or adjacent to the site. The development will incorporate new landscaped areas along the front and rear lot lines as well as abutting the north and east portions of the building.</p> <p>The servicing report demonstrates that the development is not anticipated to diminish physical</p> |

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| | | <p>infrastructure serving the site or its surrounding area and will be able to utilize the existing municipal water and sanitary services. The development will not contribute to overloading social infrastructure such as schools, parks, and community facilities located near to the subject site, and this development poses no concerns with their capacity.</p> <p>The subject site is located in an area intended from employment uses and is surrounded by light industrial, business park and commercial uses.</p> <p>The subject site is located in an employment area that is dominated by one and two-storey, large footprint light industrial, business park and commercial uses. The proposed development will be compatibility with the scale, style and massing of the surrounding built form. Building entrances are located at the north and south sides of the buildings. Clearly delineated pedestrian paths are identified through the property to ensure safe pedestrian access and visibility to the proposed entrances.</p> |
| <p>2.7.4. Mitigation measures may be used to achieve development and land use compatibility. Such measures may include one or more of the following:</p> | <p>Compatible Development and Land Use Change - Mitigation Measures</p> | <p>See Section 2.7.3.</p> <p>The proposed development incorporates appropriate setbacks from all lot lines which comply with zoning requirements. Through the proposed zoning by-law</p> |

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| <p>a. ensuring adequate setbacks and minimum yard requirements;</p> <p>b. establishing appropriate transition in building heights, coverage, and massing;</p> <p>c. requiring fencing, walls, or berming to create a visual screen;</p> <p>d. designing the building in a way that minimizes adverse effects;</p> <p>e. maintaining mature vegetation and/or additional new landscaping requirements;</p> <p>f. controlling access locations, driveways, service areas and activity areas; and,</p> <p>g. regulating location, treatment and size of accessory uses and structures, lighting, parking areas, garbage storage facilities and signage.</p> <p><i>Planning Act</i> tools including zoning by-law standards, site plan control, development agreements and other measures will be used to implement mitigative measures that achieve compatible land use change and development.</p> | | <p>amendment, no relief is being sought from the performance standards of the zoning by-law, separate from the inclusion of permitting an office as a standalone complementary use.</p> |
| <p>2.7.6. Only development proposals that meet the long-term needs of the intended users or occupants will be supported. Proponents, whether developing individual buildings on a single site, or multiple buildings being built at one time or phased over time, will be required to</p> | <p>Compatible Development and Land Use Change - Functional Needs</p> | <p>See Sections 2.7.3. and 2.7.4.</p> <p>The proposed standalone two-storey office building will maintain a suitable scale that is compatible with the existing built form in the surrounding employment area.</p> <p>The proposed use does not require amenity area;</p> |

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| <p>demonstrate to the satisfaction of the City that the functional needs of the occupants or users will be met by providing:</p> <p>a. suitable scale, massing and density in relation to existing built fabric;</p> <p>b. appropriate landscaping that meets or improves the characteristic green space amenity of the site and surroundings and enhances the City’s tree planting program;</p> <p>c. adequate land area and appropriate site configuration or provision for land assembly, as required;</p> <p>d. efficient use of municipal services, including transit;</p> <p>e. appropriate infill of vacant or under-utilized land; and,</p> <p>f. clearly defined and safe:</p> <ul style="list-style-type: none"> • site access; • pedestrian access to the building and parking spaces; • amenity areas; • building entry; and • parking and secure and appropriate bicycle facilities | | <p>however, the thoughtful design landscaped open space is contemplated through this proposal.</p> |
| <p>2.9.1. It is the intent of this Plan to promote economic development and competitiveness by:</p> <p>a. providing an appropriate mix and range of employment (including industrial, commercial and institutional uses) to meet long-term needs;</p> <p>b. providing opportunities for a diversified economic base, including maintaining a range</p> | <p>Economic Development – Economic Development Strategy</p> | <p>The proposal will look to permit the complementary office use as a standalone use, whereas the Kingston Zoning By-Law permits it as an accessory use. This will allow for a diversification of uses that meet the long-term needs in and around the surrounding area.</p> <p>The proposal will enable the office use to function as the primary use without restriction to the potential future</p> |

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| <p>and choice of suitable sites for employment uses that support a wide range of economic activities and complementary uses, and takes into account the needs of existing and future businesses;</p> <p>c. planning for, protecting and preserving employment areas for current and future uses;</p> <p>d. ensuring the necessary infrastructure is provided to support current and projected needs; and,</p> <p>e. encouraging the development of business incubators.</p> | | <p>introduction of industrial uses identified in the M2 Zone.</p> <p>The site is currently undeveloped. As such, the introduction of a permitted complementary use as a standalone use is not anticipated to greatly increase the demand for infrastructure to the site.</p> |
| <p>3.6.2. The City strongly supports a strong and diversified economic base. As outlined in the Employment Land Strategy Review, the City will continue to promote the City's four Business Parks: Cataraqui Estates Business Park; Clyde Business Park; Alcan Business Park; and, the St. Lawrence Business Park. Other specific means of supporting economic development by the City are set out in Section 2.9.</p> | <p>Employment Areas (Industrial Designations and Policies) – Support of Economic Base</p> | <p>The site is not located in the City's four Business Parks. The subject application seeks to allow an office as a primary use on the subject site to further diversify the economic base of the area and support its users.</p> |
| <p>3.6.12. Complementary uses are intended to improve the quality of life and reduce dependence on the private automobile for employees within the employment area by providing support and services in close proximity to employment uses.</p> | <p>Employment Areas (Industrial Designations and Policies) – Complementary Uses</p> | <p>See Section 2.7.</p> <p>The proposed standalone complementary use listed in Exception Overlay (E146) is intended to allow for the construction of a two storey office building within the General Industrial designated</p> |

| Policy | Category | Conformity with the Policy |
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| <p>Complementary uses listed within the Business Park Industrial and General Industrial designations will require a minor variance or zoning by-law amendment, as appropriate, prior to being permitted by the zoning by-law in accordance with the following:</p> <p>a. a minor variance application may be used to establish complementary uses that occupy generally 25 percent of the total floor area of all buildings located on a parcel of land, provided the complementary uses:</p> <p>i. will provide a support or service to the employees within the employment area designations that are continuous to the subject parcel and that the support or service cannot be provided from an adjacent land use designation to such employment area;</p> <p>ii. will not hinder or preclude any employment uses from establishing on any lands in the employment area designations due to principles of land use compatibility, in accordance with Section 2. 7; and</p> <p>iii. will be oriented towards the road frontage and contribute to an attractive and functional employment area.</p> <p>b. a zoning by-law amendment will be required to establish complementary</p> | | <p>area. The complementary use was selected as it is identified as a permitted complementary use in the General Industrial designation and will not hinder or interfere with the industrial uses in the surrounding area. The complementary use considered by the proposed zoning by-law amendment do exceed that which is contemplated by a minor variance, which is the primary reason why the zoning by-law amendment application is being sought.</p> <p>The use is intended to improve the quality of life, access to a diversity of services and reduce dependence on private automobiles for employees (present and future) within the employment area. The proposed use will broaden the range of services afforded to users of the surrounding area.</p> <p>The proposed Exception Overlay does not include any sensitive uses, which would have the potential hindering or precluding any employment uses from establishing on lands in the surrounding area. The proposed standalone office use is not more sensitive than the existing light industrial, business park and commercial uses in the surrounding area and is not anticipated to result in a compatibility concern for existing of future employment uses.</p> |

| Policy | Category | Conformity with the Policy |
|--|----------|--|
| <p>uses that exceeds the threshold established for minor variances in a), including standalone complementary uses, and must demonstrate:</p> <p>i the criteria listed above in clause a have been satisfied;</p> <p>ii. will result in similar rates of employment as the primary permitted uses, in accordance with Section 2.3.7; and</p> <p>iii. will not contribute to the fragmentation of continuous employment areas by generally being located at entrances or along edges of continuous employment areas that are visible from arterial or collector roads to assist in the transition between the employment uses and surrounding land uses.</p> | | <p>The proposed development has been designed to occupy the vacant site in such a manner where the performance standard requirements of the zoning by-law can be met. The proposed two-storey office building will be oriented towards Arlington Park Place, with the inclusion of landscaped open space along the road frontage to facilitate a pleasant pedestrian experience. The applicant notes that the building has been designed with a mix of pre-cast aggregate and significant glazing to contribute to the attractiveness and function of the employment area. The proposed development will result in the development of a vacant, underutilized parcel, activating the streetscape along Arlington Park Place.</p> <p>The proposed development has been designed to maximize the developable area of the site, while ensuring the functional needs for ingress and egress can be met. This specifically relates to parking, loading, building access and landscaped open space. The applicant notes that the proposed development will introduce an employment use to the currently vacant parcel, which will contribute to increasing the number of jobs available on-site, as well as within the</p> |

| Policy | Category | Conformity with the Policy |
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| | | <p>larger surrounding employment area.</p> <p>The vacant property is located mid-block along Arlington Park Place and the employment area for which it is located is generally not visible from Gardiners Road to the east and only partially visible from Taylor Kidd Boulevard to the north. In light of the vacant nature of the property, and the adjacent property located at 695 Arlington Park Place, the existing on-site conditions contribute to the fragmentation of the surrounding employment area. Through the proposal, the property will be developed. This will inadvertently allow for the decrease of fragmentation of the existing employment area and increase employment opportunities and access to services to the surrounding employees and visitors.</p> |
| <p>3.6.14. The zoning by-law will establish specific provisions related to land use, setbacks, and lot coverage, for each of the specific Industrial designations identified by this Plan.</p> | <p>Employment Areas (Industrial Designations and Policies) – Zoning By-law</p> | <p>The proposed development has been designed to meet the performance standards of the M2 Zone and all applicable Sections of the zoning by-law (e.g., parking, loading spaces, bike parking, etc.).</p> |
| <p>3.6.15. Within employment areas, development is subject to the following requirements:</p> <p>b. road access to individual landholdings is a primary consideration to facilitate the transition of vacant or underutilized lands to full industrial capability;</p> | <p>Employment Areas (Industrial Designations and Policies) – Development Criteria</p> | <p>See Sections 2.7.3. and 2.7.4.</p> <p>The proposed development of the two-storey standalone office building will incorporate road access from Arlington Park Place via a two-way driveway that will facilitate safe and functional entry and exit of the subject site.</p> |

| Policy | Category | Conformity with the Policy |
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| <p>c. each site must provide and clearly indicate access points that facilitate safe and functional entry and exit for vehicles, particularly by highway transport vehicles;</p> <p>d. each site must provide convenient and safe access for active transportation and accommodate transit. Where feasible, on-site pathways must be connected with the public sidewalk system, and with adjacent public spaces and trails;</p> <p>e. loading areas must be screened from abutting non-industrial uses, separated from vehicle and pedestrian traffic, and located in interior side yards or rear yards;</p> <p>f. parking is to be provided in accordance with Section 4.6 of this Plan for vehicles and bicycles. Parking for vehicles shall be designed in such a manner as to minimize conflicts between vehicles, cyclists and pedestrians wherever possible. Front yard parking is discouraged but may be considered to facilitate improved access and functionality particularly when building massing and lot configuration precludes the accommodation of parking in interior side yards or rear yards. In cases where front yard parking is necessary, landscaping shall be used to screen views of parking areas and design priority shall be given to accommodating safe</p> | | <p>The proposed redevelopment will be contributing towards the future extension of a sidewalk along the south side of Arlington Park Place abutting the subject site.</p> <p>The proposal supplies a sufficient amount of surface parking spaces and meets the bicycle parking requirements of the zoning by-law.</p> <p>The development will introduce and meet the landscaping requirements of the zoning by-law, while appropriately incorporating exterior lighting to improve the overall site function and aesthetic through increased safety and accessibility for all users.</p> <p>A future application for Site Plan Control is required to permit the proposed development of the vacant lands.</p> |

| Policy | Category | Conformity with the Policy |
|---|----------|----------------------------|
| <p>non-vehicular access throughout the site;</p> <p>g. the design of new industrial buildings must be compatible with, and sensitive to, the characteristics of the existing surrounding development, and must take into consideration the existing natural constraints and features on the site;</p> <p>h. industrial buildings must be designed and constructed to an appropriate finished standard on all sides facing a road, a freeway or an abutting non-industrial use;</p> <p>i. the design of new industrial buildings must be appropriate in terms of scale, character, and design elements, including well-defined main entrances that are oriented to the public road, roof form and articulation, and the use of high quality exterior materials that are compatible with surrounding uses;</p> <p>j. service facilities and mechanical equipment must be designed and located with minimal visual impacts on surrounding properties, and for maximum safety for employees and the public;</p> <p>k. adequate screening and buffering in the form of fencing, berming and/or landscaping is required to minimize potential impacts between the proposed industrial use and neighbouring properties, particularly any adjacent Residential, Commercial,</p> | | |

| Policy | Category | Conformity with the Policy |
|---|----------|----------------------------|
| <p>Institutional, or Environmental Protection Area designations;</p> <p>l. landscaping must be designed to enhance the overall aesthetic quality of each site, and where a site is adjacent to a natural heritage feature or area, special attention must be given to the landscape design in order to enhance and protect natural heritage features and areas and ensure no negative impacts;</p> <p>m. facilities for managing solid waste must be located within an enclosed structure sited away from the street or an abutting nonindustrial use, and constructed in such a manner that the waste material is not visible from the street or an adjacent non-industrial property;</p> <p>n. outdoor storage of goods or materials must be fenced and screened from the view of roads or adjacent properties and will be limited within the Business Park Industrial designation;</p> <p>o. industrial uses requiring large amounts of outdoor storage, and those characterized by noise, odour and vibration, are restricted through the zoning by-law from locating near non-industrial areas;</p> <p>p. exterior lighting of any building or parking area is to be designed to deflect glare from adjacent properties while providing appropriate levels for safety and accessibility;</p> | | |

| Policy | Category | Conformity with the Policy |
|---|--|--|
| <p>q. a stormwater management plan prepared in conjunction with a development application must address the quality and quantity of stormwater as required by Section 4.3 of this Plan;</p> <p>r. high quality design treatments, based on the policies of Sections 3.6.A.6 and 8 of this Plan, are expected of any industrial facility located adjacent to non-industrial uses, on all lands designated as Business Park Industrial, and on any of the major gateways into the City, including Highway 401, Gardiners Road, Sir John A. Macdonald Boulevard, Division Street, Montreal Street, and Highway 15/Kingston Road 15;</p> <p>s. any industrial uses that may involve hazardous substances shall not be permitted to locate in hazardous lands and hazardous sites; and,</p> <p>t. all development applications are subject to site plan control review.</p> | | |
| <p>3.6.B.1. The main uses permitted within the General Industrial designation include:</p> <p>a. manufacturing, assembling, fabricating, and processing operations;</p> <p>b. construction and transportation activities and facilities;</p> <p>c. storage, warehousing, and wholesale trade activities;</p> | <p>General Industrial – Permitted Uses</p> | <p>The zoning by-law amendment to the General Industrial zone would continue to allow the uses as identified in Section 3.6.B.1. of the Official Plan.</p> |

| Policy | Category | Conformity with the Policy |
|--|--|--|
| <p>d. communications facilities and utilities; e. automotive, heavy equipment, and truck repair facilities, and towing compounds; f. institutional uses with General Industrial characteristics, as outlined in Section 3.5.3 of this Plan; and, g. municipal works yards and water treatment and sewage treatment facilities, subject to the policies of Section 3.2 of this Plan.</p> | | |
| <p>3.6.B.2. The following uses are intended to serve the General Industrial area and are permitted as complementary uses within the General Industrial designation:</p> <p>a. office and business service establishments, such as printing and equipment repair; b. research and development facilities, including laboratories; c. restaurants, financial institutions, personal services, medical and paramedical, and convenience commercial uses; d. automobile service stations or gas bars, if located at the intersection of arterial or collector streets; e. public and private parks and recreation facilities; f. parking lots and structures; and, g. sources of renewable energy, subject to the policies of Section 6.2 of this Plan.</p> | <p>General Industrial – Complementary Uses</p> | <p>See Section 3.6.12.</p> <p>The standalone complementary use proposed through this application is:</p> <ul style="list-style-type: none"> • Office <p>The proposed office use is permitted as a complementary use in the General Industrial designation of the Official Plan. In review of the proposal against Section 3.6.12., staff consider the proposed use as appropriate for the subject property.</p> |

| Policy | Category | Conformity with the Policy |
|--|--|--|
| <p>3.6.B.3. A standalone complementary use may be permitted, without amendment to this Plan, subject to demonstrating conformity to Section 3.6.12 or 3.6.13, and 3.6.15.</p> | <p>General Industrial – Complementary Uses</p> | <p>Refer to Section 3.6.12.</p> |
| <p>3.6.B.4. New development that is considered incompatible with the General Industrial designation, and is prohibited within the Urban Boundary, include the following:</p> <ul style="list-style-type: none"> a. automotive wrecking yards; b. scrap and salvage yards (except where such products are recycled as an input to a permitted employment use on the same site); c. pits and quarries; d. sanitary landfill sites; e. community facilities; f. elementary and secondary schools; g. commercial uses except for those complementary uses permitted in the General Industrial designation, and the retail accessory uses permitted in Section 3.6.11 of this Plan; and, h. residential uses, except for caretaker or guard’s quarters. | <p>General Industrial – Prohibited Uses</p> | <p>The proposal does not include the introduction of any prohibited uses as identified in Section 3.6.B.4. of the Official Plan.</p> |
| <p>9.5.9. When considering an application to amend the zoning by-law, the Planning Committee and Council will have regard to such matters as:</p> <ul style="list-style-type: none"> a. conformity of the proposal with the intent of the Official Plan policies and schedules; | <p>By-Laws - Planning Committee/Council Considerations</p> | <p>See policy responses in Section 2.1.1 and Section 2.7.</p> <p>The proposal is to enable a standalone complementary office use on a vacant industrially designated property. The proposal is consistent with the applicable policies and intent of the</p> |

| Policy | Category | Conformity with the Policy |
|--|----------|--|
| <p>b. compatibility of the proposal with existing uses and zones, sensitive uses, the natural heritage system, cultural heritage resources, and compatibility with future planned uses in accordance with this Plan;</p> <p>c. compatibility of proposed buildings or structures with existing buildings and structures, with zoning standards of adjacent sites, with any future planned standards as provided in this Plan, and with any urban design guidelines adopted by the City for the area;</p> <p>d. the extent to which the proposal is warranted in this location and the extent to which areas zoned for the proposed use are available for development;</p> <p>e. the suitability of the site for the proposal, including its ability to meet all required standards of loading, parking, open space or amenity areas;</p> <p>f. the suitability of the density relative to the neighbourhood and/or district, in terms of units per hectare, bedrooms per hectare, floor space index, and/or employees per hectare, as applicable;</p> <p>g. the impact on municipal infrastructure, services and traffic;</p> <p>h. comments and submissions of staff, agencies and the public; and,</p> <p>i. the degree to which the proposal creates a precedent.</p> | | <p>Official Plan and does not set an undesirable precedence.</p> |



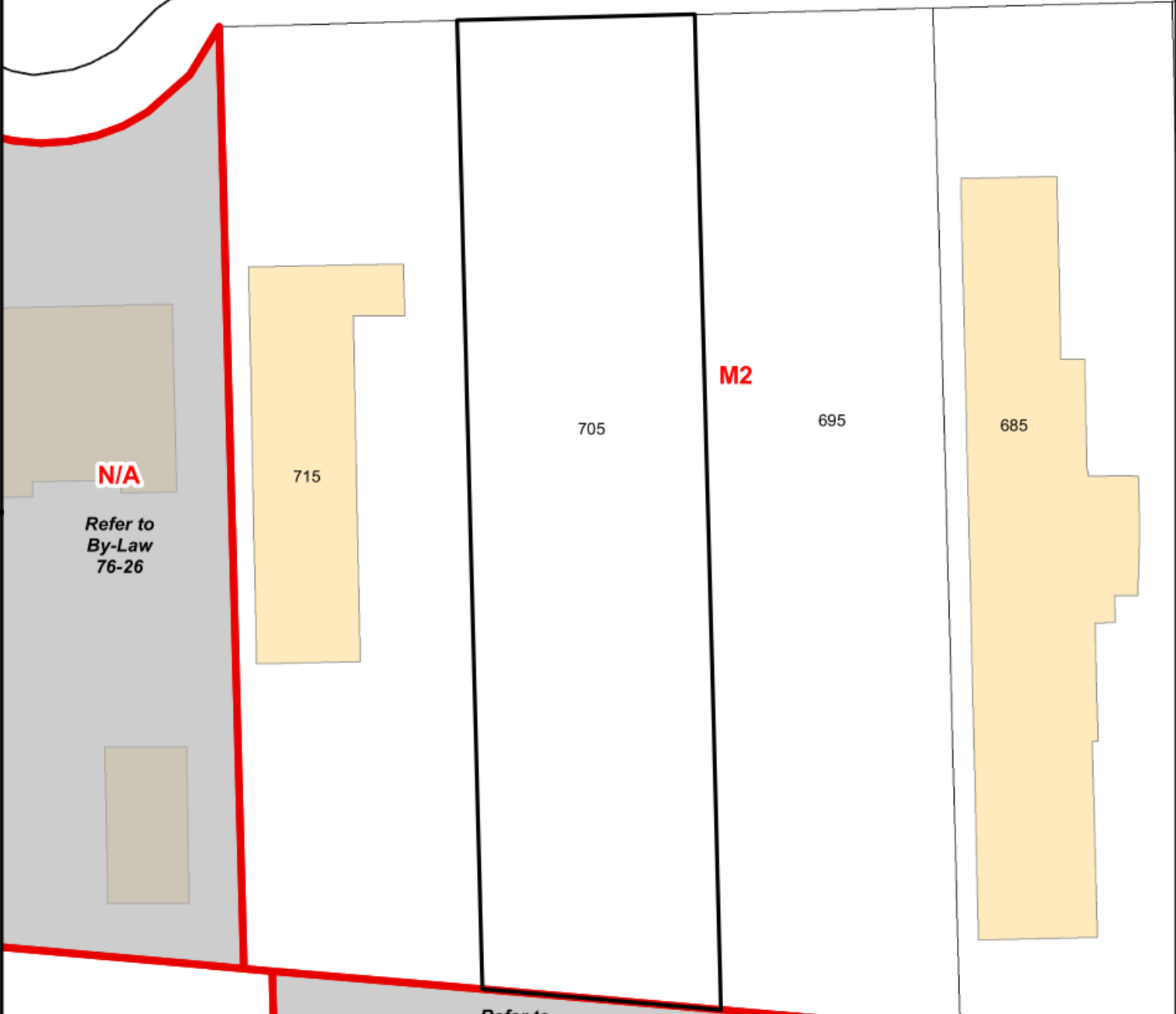
Planning Services

Planning Committee Kingston Zoning By-Law 2022-62

Address: 705 Arlington Park Place
File Number: D14-014-2023

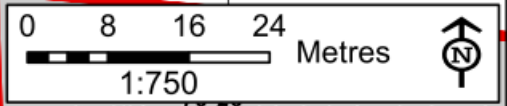
- Subject Lands
- Schedule 1 Zoning Map Zone
- Not Subject to the Kingston Zoning By-law
- Schedule E - Exception Overlay Legacy Exceptions (LXXX)
- Exceptions (EXXX)
- Schedule F - Holding Overlay Holding Overlay (HXXX)

M1 Arlington Park Pl **Refer to By-Law 76-26**



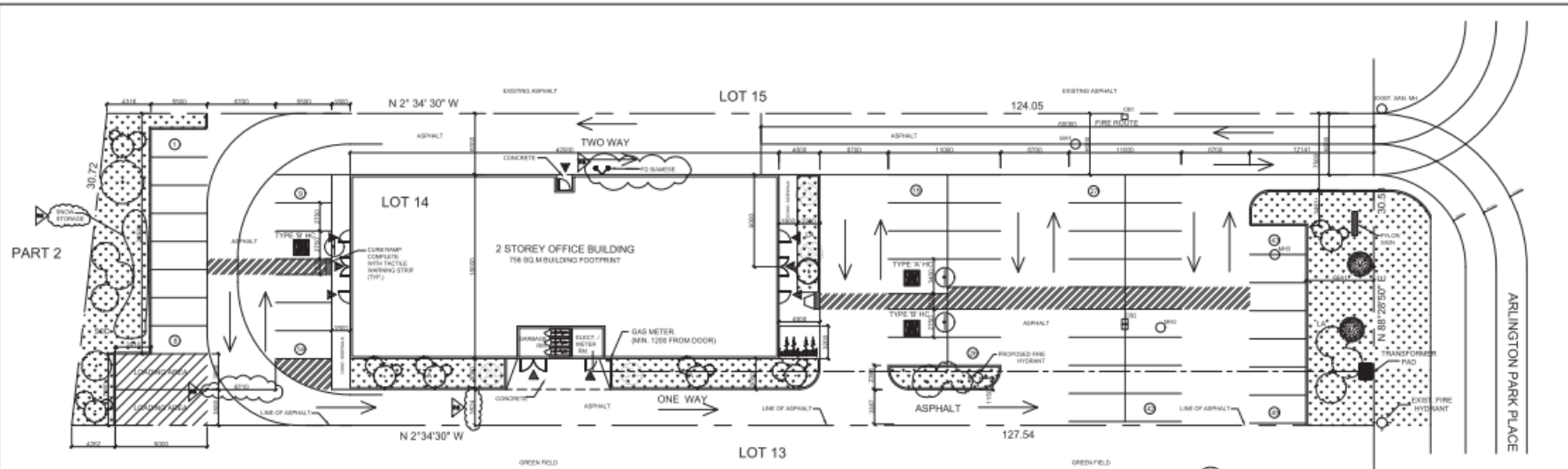
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N/A Refer to By-Law 76-26



Prepared By: Ichu
Date: Nov-06-2023

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NAME OF PROJECT: NEW 2 STOREY OFFICE BUILDING SERVED BUILDING 705 ARLINGTON PARK PLACE KINGSTON, ONTARIO

ITEM 1: 2024 ZONING BY-LAW CODE DATA MATRIX

ITEM 2: MAJOR EQUIPMENT GROUP "F"

ITEM 3: BUILDING AREA (SQM)

ITEM 4: GROUND FLOOR

ITEM 5: 2ND FLOOR

ITEM 6: GROSS AREA (SQM)

ITEM 7: NUMBER OF STOREYS ABOVE

ITEM 8: HEIGHT OF BUILDING

ITEM 9: NUMBER OF STREETS / FIREWATER ACCESS

ITEM 10: BUILDING CLASSIFICATION

ITEM 11: SPRINKLER SYSTEM PROPOSED

ITEM 12: STAIRWAYS REQUIRED

ITEM 13: FIRE ALARMS REQUIRED

ITEM 14: WATER SERVICE / SUPPLY IS ADEQUATE

ITEM 15: HIGH WALKING

ITEM 16: FORMERLY CONSTRUCTION

ITEM 17: ACTUAL CONSTRUCTION

ITEM 18: OCCUPANT LOAD BASED ON

ITEM 19: SHARED-FREE DESIGN

ITEM 20: HAZARDOUS SUBSTANCES

ITEM 21: REQUIRED FIRE FLOORS

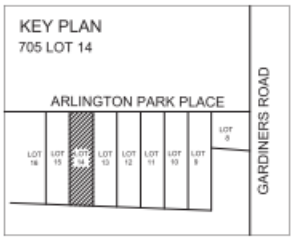
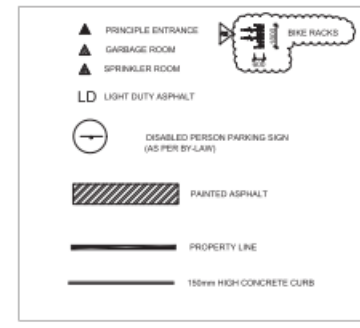
ITEM 22: SPATIAL SEPARATION - CONSTRUCTION OF CURBON WALLS

ITEM 23: ZONING

ZONING BY-LAW MATRIX (LOT 14 PLAN 1724)

| ZONING USE | REQUIREMENTS AS PER TABLE 16.1.2 | PROPOSED OFFICE | BY-LAW COMPLIANCE |
|-----------------------------------|---|---------------------|----------------------|
| LOT AREA | N/A | 3,824.59 SM | 16.3.1(1) |
| BUILDING AREA | N/A | 796.00 SM | |
| G.F.A. | N/A | 1512.00 SM | |
| LOT FRONTAGE | 21 m | 30.49 SM | 16.3.1(2) |
| LOT COVERAGE (MAX) | N/A | 19.85 % | 16.3.1(9) |
| FRONT YARD SETBACK | 0 m | 26.23 m | 16.3.1(4) |
| INTERIOR SIDE YARD SETBACK (EAST) | 6 m | 6 m | 16.3.1(7) |
| INTERIOR SIDE YARD SETBACK (WEST) | 6 m | 6 m | 16.3.1(7) |
| EXTERIOR SIDE YARD SETBACK | N/A | N/A | 16.3.1(8) |
| REAR YARD SETBACK | 7.5 m | 25 m | 16.3.1(5) |
| BUILDING HEIGHT | 12M | 8.5 m | 16.3.1(3) |
| LANDSCAPE AREA | 15 % | 15.14 % - 578.96 SM | 16.3.1(8) |
| MIN. PLANTING STRIP WIDTH (FRONT) | N/A | 7.738 m | 4.16 |
| MIN. PARKING SPACES (2.6m x 5.5m) | NO MIN. | 49 CARS | TABLES 7.2.2 & 7.4.1 |
| PM4 ZONE OFFICE USE | EFFECTIVE RATE FOR WF CALC: 4 PER 100SM OF GROSS FLOOR AREA (1512/100)*4=61 | | |
| MIN. HC PARKING SPACES | 4% WHERE BETWEEN 13 OR 100 EFFECTIVE RATE | 3 | 7.3.3 (2) |
| MIN. LOADING SPACES (3.0 x 6.0 m) | 2 WHERE 300 TO 2500 SQM | 2 | TABLE 7.5.1, 7.5.5 |
| BIKE RACKS | 1 PER 100 SQUARE METERS OF FLOOR AREA | 5 | TABLE 7.5.1 |
| DRIVEWAY | MIN: 7.5M WIDE MAX: 9M WIDE | 7.5M WIDE | TABLE 7.4.10 |

1 SITE PLAN
SP1 1:200



- DRAWING NOTES:
- ALL DIMENSIONS TO BEHOLD THE PROPERTY OF ALEXANDER ARCHITECT INC.
 - ALL DIMENSIONS SHALL BE CHECKED AND CORRECTED BY THE ARCHITECT BEFORE THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF KINGSTON.
 - ALL DIMENSIONS SHALL BE CHECKED AND CORRECTED BY THE ARCHITECT BEFORE THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF KINGSTON.
 - ALL DIMENSIONS SHALL BE CHECKED AND CORRECTED BY THE ARCHITECT BEFORE THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF KINGSTON.
- CONSTRUCTION NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KINGSTON ZONING BY-LAW AND ALL REGULATIONS, ORDINANCES, BY-LAWS AND RESOLUTIONS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KINGSTON ZONING BY-LAW AND ALL REGULATIONS, ORDINANCES, BY-LAWS AND RESOLUTIONS.
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 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KINGSTON ZONING BY-LAW AND ALL REGULATIONS, ORDINANCES, BY-LAWS AND RESOLUTIONS.
- SITE NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KINGSTON ZONING BY-LAW AND ALL REGULATIONS, ORDINANCES, BY-LAWS AND RESOLUTIONS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KINGSTON ZONING BY-LAW AND ALL REGULATIONS, ORDINANCES, BY-LAWS AND RESOLUTIONS.

Alexander Wilson
Architect Inc.
Architects/Planners
100-00 Gore Street
Kingston, ON K7L 3L3
T: 613-545-3744
F: 613-545-1411

NEW
EMPIRE
DESIGN - BUILD

PROJECT NORTH

LOT 14, PLAN 1724
705 ARLINGTON PARK PLACE
KINGSTON, ONTARIO
1000324626 Ontario Inc.

SITE PLAN
ZONING MATRIX
LEGEND

| DATE | REV. | JOB No. | PROJECT No. |
|-------|------|---------|-------------|
| NOTED | R6 | XX-XX | SP1 |

Site Photographs – 705 Arlington Park Place

D14-014-2023



Figure 1. Front facing view along Arlington Park Place frontage, located on the south side of Arlington Park Place (photo taken December 1, 2023).



Figure 2. West facing view along Arlington Park Place frontage of the subject property (photo taken December 1, 2023).



Figure 3. East facing view along Arlington Park Place, with existing fire hydrant located on the vacant subject property (photo taken December 1, 2023)



Figure 4. North facing view along Arlington Park Place, showing the existing plaza immediately across from the subject property (photo taken December 1, 2023)



Figure 5. Additional uses included in the plaza located across the street from the subject property (photo taken December 1, 2023).



Figure 6. Existing developed properties, with commercial and educational type services, located northwest of the subject property, on the north side of Arlington Park Place (photo taken December 1, 2023).



Figure 7. Existing developed properties on the north side of Arlington Park Place, with parking and landscaping shown (photo taken December 1, 2023).



Figure 8. Existing developed properties on the south side of Arlington Park Place, located to the west of the subject site (photo taken December 1, 2023).



Figure 9. Existing developed properties on the south side of Arlington Park Place, located to the west of the subject site (photo taken December 1, 2023).



Figure 10. Adjacent property to the subject site on the southwest side of Arlington Park Place, municipally addressed as 715 Arlington Park Place with front yard parking (photo taken December 1, 2023).



Figure 11. Property located at 685 Arlington Park Place, on the southeast side of Arlington Park Place with existing development and business (photo taken December 1, 2023).



Figure 12. Property located at 675 Arlington Park Place, on the southeast side of Arlington Park Place with existing development and businesses (photo taken December 1, 2023).



Figure 13. Intersection of Arlington Park Place and Midpark Drive (photo taken December 1, 2023).



Figure 14. Property located at 655 Arlington Park Place, on the southeast side of Arlington Park Place with existing development and businesses located near the intersection of Arlington Park Place and Gardiners Road (photo taken December 1, 2023).



Figure 15. Existing sidewalk along southeast side of Arlington Park Place, currently ends at 757 Arlington Park Place (photo taken December 1, 2023).



Figure 16. Property located at 765 and 763 Gardiners Road, on the west side of Gardiners Road, south of intersection of Arlington Park Place and Gardiners Road with location of bus stop (photo taken December 1, 2023).



Figure 17. Rio Can Centre located to the east of the Arlington Park Place and Gardiners Road intersection (photo taken December 1, 2023).



Figure 18. View of the developed property located at 775 Gardiners Road, north of the Arlington Park Place and Gardiners Road intersection, demonstrating front and exterior yard parking (photo taken December 1, 2023).



Figure 19. Northeast facing view of the existing commercial business located at 660 Arlington Park Place, along Arlington Park Place, taken from the south side of Arlington Park Place (photo taken December 1, 2023).

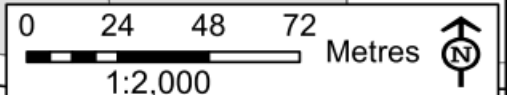
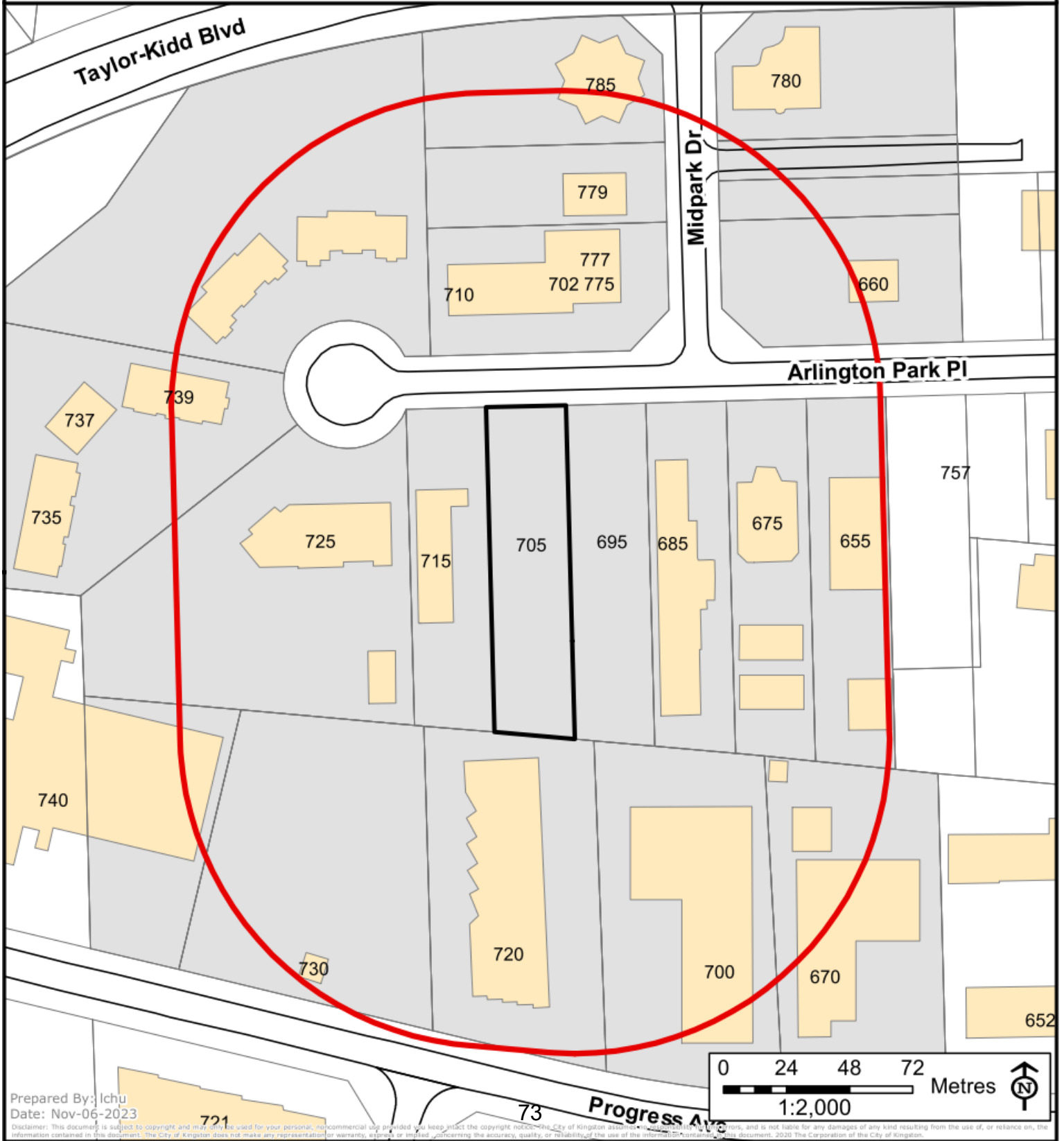


Figure 20. West facing view, along the south side of Arlington Park Place, where sidewalk connection ends (photo taken December 1, 2023).



Planning Committee
Public Notice Notification Map
Address: 705 Arlington Park Place
File Number: D14-014-2023

- 120m Public Notification Boundary
- Subject Lands
- Property Boundaries
- 20 Properties in Receipt of Notice (MPAC)





DRAWING NOTES:

1. ALL WORK SHALL BE THE PROPERTY OF ALEXANDER WILSON ARCHITECT INC.
2. ALL DIMENSIONS SHALL BE CHECKED AND NOTED BY THE FIELD PRIOR TO CONSTRUCTION BY THE CONTRACTOR AND SHALL BE SUBJECT TO VERIFICATION BY THE ARCHITECT.
3. ALL DIMENSIONS SHALL BE CHECKED AND NOTED ON THE PLAN PRIOR TO CONSTRUCTION BY THE CONTRACTOR TO VERIFY BY MEANS OF SCALE.
4. THE FIELD SHALL BE SUBJECT TO THE APPROVAL OF THE FIELD SUPERVISOR.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE AND REGULATIONS FOR CONSTRUCTION (OBC).
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
4. CONSTRUCTION OF ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE AND REGULATIONS FOR CONSTRUCTION (OBC).
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
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17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
18. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

SITE NOTES:

1. THE SITE SHALL BE SUBJECT TO THE APPROVAL OF THE FIELD SUPERVISOR.
2. THE SITE SHALL BE SUBJECT TO THE APPROVAL OF THE FIELD SUPERVISOR.
3. THE SITE SHALL BE SUBJECT TO THE APPROVAL OF THE FIELD SUPERVISOR.

Alexander Wilson
 Architect Inc.
 Architects/Planners
 103-25 Gore Street
 Ancaster, ON K7A 3L3
 T: 905-545-3744
 F: 905-545-1411

**NEW EMPIRE
 DESIGN - BUILD**

| NO. | DATE | DESCRIPTION | REVISIONS |
|-----|------|-------------|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

TRUE NORTH

LOT 14, PLAN 1724
 705 ARLINGTON PARK PLACE
 KINGSTON, ONTARIO

ELEVATIONS

| SHEET | REV. | JOB No. | DATE |
|-------|------|---------|------|
| NOTED | R4 | XX-XX | A2.0 |

1 ELEVATIONS
 A2.0 1/75



**City of Kingston
Report to Planning Committee
Report Number PC-24-011**

To: Chair and Members of the Planning Committee
From: Paige Agnew, Commissioner, Growth & Development Services
Resource Staff: Tim Park, Director, Planning Services
Date of Meeting: January 4, 2024
Subject: Recommendation Report
File Number: D35-012-2021
Address: 1075 Bayridge Drive
District: 2 - Loyalist-Cataraqui
Application Type: Draft Plan of Subdivision and Zoning By-Law Amendment
Owner: Tamarack (Cataraqui West) Corporation
Applicant: Fotenn Planning + Design

Council Strategic Plan Alignment:

Theme: 1. Support Housing Affordability

Goal: 1.1 Promote increased supply and affordability of housing.

Executive Summary:

The following is a report recommending approval to the Planning Committee regarding an application for draft plan of subdivision and zoning by-law amendments submitted by Fotenn Planning + Design, on behalf of Tamarack (Cataraqui West) Corporation, with respect to the subject site located at 1075 Bayridge Drive.

The applicant is proposing a draft plan of subdivision to develop 226 residential lots consisting of 73 Single-Detached Dwelling, 4 Semi-Detached Dwellings, and 149 Row Houses. As a part of the development, a community park and a stormwater management pond are contemplated together with four new roads which provide interior access throughout, as well connections to Bayridge

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Drive to the east and Cataraqui Woods Drive to the north. The draft plan of subdivision further contemplates pathway linkages, a sanitary easement and a widening of Bayridge Drive to accommodate a multi-use pathway.

To implement the proposed subdivision, the applicant is proposing a zoning by-law amendment to ensure units are Additional Residential Unit (ARU) Ready. A Holding (H) provision would remain to prevent development until servicing requirements associated with the Subdivision have been fulfilled.

The recommended draft plan of subdivision provides for the orderly development of the Cataraqui West secondary plan area affording the area additional housing choice. The zoning by-law amendment would allow for the buildout of the proposed subdivision and includes provisions to ensure that the area is built to a density which is transit supportive and makes efficient use of the City's infrastructure. The proposal, as revised through technical review, is consistent with the Provincial Policy Statement, conforms to the Official Plan, and represents good land use planning. The applications are recommended for approval.

Recommendation:

That the Planning Committee recommends to Council:

That the applications for draft plan of subdivision and zoning by-law amendments (File Number D35-012-2021) submitted by Fotenn Planning + Design, on behalf of Tamarack (Cataraqui West) Corporation, for the property municipally known as 1075 Bayridge Drive, be approved; and

That the draft plan of subdivision be subject to the conditions as per Exhibit B (Draft Plan of Subdivision Conditions) to Report Number PC-24-011; and

That Kingston Zoning By-Law Number 2022-62, as amended, be further amended, as per Exhibit A (Draft By-Law and Schedule A and B to Amend Zoning By-Law Number 2022-62) to Report Number PC-24-011; and

That Council determines that in accordance with Section 34(17) of the *Planning Act*, no further notice is required prior to the passage of the by-law; and

That the amending by-law be presented to Council for all three readings.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Growth & Development Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

| | |
|---|--------------|
| Jennifer Campbell, Commissioner, Community Services | Not required |
| Neil Carbone, Commissioner, Corporate Services | Not required |
| David Fell, President & CEO, Utilities Kingston | Not required |
| Peter Huigenbos, Commissioner, Major Projects & Strategic Initiatives | Not required |
| Brad Joyce, Commissioner, Infrastructure, Transportation & Emergency Services | Not required |
| Desirée Kennedy, Chief Financial Officer & City Treasurer | Not required |

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Options/Discussion:**Statutory Public Meeting**

This recommendation report forms the basis of a statutory public meeting at Planning Committee. Anyone who attends the statutory public meeting may present an oral submission, and/or provide a written submission on the proposed application. Also, any person may make written submissions at any time before City Council makes a decision on the application.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of Kingston to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of Kingston before the by-law is passed, the person or public body is not entitled to appeal the decision. If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of Kingston before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Planning Committee will consider the recommendations in this report and make its recommendation to City Council at this meeting.

Anyone wishing to be notified of Council's decision on the subject application must submit a written request to:

Ian Clendening, Senior Planner
The Corporation of the City of Kingston
Planning Services
216 Ontario Street
Kingston, ON K7L 2Z3
613-546-4291 extension 3126
iclendening@cityofkingston.ca

Background and Decision Date

In accordance with By-Law Number 2007-43, this application was subject to a pre-application meeting held on June 1, 2021, with Planning Services and various other departments and agencies.

Following the pre-application process, a complete application was submitted by the applicant and was deemed to be complete as of December 3, 2021. A Public Meeting was held at Planning Committee on February 17, 2022. A summary of the feedback received at the Public Meeting is provided in the Public Comments section of this Report.

In accordance with the *Planning Act*, this application is subject to a decision by Council on or before April 2, 2022, which is 120 days after a complete application was received. In the absence of a decision by Council in this timeframe, the applicant may exercise their right to

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appeal to the Ontario Land Tribunal (OLT). The applicant and the City have been working to address technical comments related to minimum densities and protections to a watercourse which traverses at the north end of the property.

Site Characteristics

The subject property measures approximately 12 hectares in size and is currently undeveloped with roughly 210 metres of frontage along Cataraqui Woods Drive, at the north end of the property, and 440 metres along Bayridge Drive at the east end of the property. Although the site is currently undeveloped, a total of 211 trees in either good or moderate condition currently occupy the south end of the site with black locust and Manitoba maple constituting a majority of these trees.

The surrounding area consists of a self storage facility immediately west and vacant lands intended for residential development immediately north. To the east of the site, on the opposite side of Bayridge Drive is an established residential neighbourhood within which Cataraqui Woods Park is located approximately 200 metres walking distance. Abutting the lands to the south and along a small section of the southeast corner of the property, exists a variety of commercial lands uses. Additionally, Cataraqui Woods Square is situated roughly 300 metres distance from the site's intersection with Cedarwood Drive and provides commercial services for the neighbourhood (Exhibit D – Neighbourhood Context Map).

The site is serviced by a variety of infrastructure and services intended to compliment the road network and facilitate active transportation. With respect to transit services, the number 19 and number 15 bus routes operate along the north and east edge of the proposed subdivision while Princess Street east of Bayridge accommodates both express and regular transit services in the form of the number 501/502, number 6, and number 10. Bicycle infrastructure consists of bike lanes along both Bayridge Drive and Cataraqui Woods Drive which both form a part of the City's existing spine routes, while Princess Street in this area remains a proposed spine route as set out in the City's [Active Transportation Master Plan](#). Cataraqui Woods Drive also features a separated 'in-boulevard' trail and a sidewalk along the south side of the road both of which help facilitate active transportation while Bayridge Drive currently accommodates a sidewalk along the east side and is intended to accommodate a similar 'in boulevard trail'.

The subject lands are designated a combination of Low Density Residential and Medium Density Residential within the Cataraqui West Secondary Plan and are zoned Urban Residential 3.B (UR3.B) with either Exception Overlay E21 or E22 based on the sites Official Plan designation as either Low or Medium Density Residential.

Proposed Application and Submission

The applicant is proposing a zoning by-law amendment and a draft plan of subdivision to develop what is known as Phase 5 of Woodhaven. The proposed subdivision includes the creation of 73 single-detached homes, four semi-detached homes, and 149 rowhouses for a total of 226 homes. The proposed subdivision has been revised since the initial submission to include a greater mix of homes as well as minor changes to the design and layout of the lots

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within the proposed plan as well as a larger stormwater management and park block. As a result of the changes the density of the subject site is 30.1 homes per net hectare with some variation both within different areas and between different unit types.

The proposed zoning by-law amendment includes a requirement for “ARU ready space” to facilitate the easy adoption of additional residential units within the subdivision to achieve an increase in density as well as to add to the housing mix and affordability. A condition of the draft plan approval requires the preparation of a landowners manual which would be provided to each purchaser and would include conceptual floor plans illustrating how the house can be converted to establish and function as an additional residential unit. In total 49 homes within the subdivision are proposed to be ARU-Ready within the building while eight lots are proposed to be ARU-Ready to permit a third home in a detached building on the lot.

Vehicular access to the site is intended to be provided by way of a new entrance at the north end of the property connecting the site to Catarauqui Woods Drive while an additional entrance into the subdivision is afforded through an extension of Cedarwood Drive at the property’s eastern edge along Bayridge. Two pedestrian walkways provide additional opportunities for active transportation linkages into the and are found roughly halfway along the site’s frontage providing a mid-block connection to Bayridge Drive as well as at the southwest corner of the property connecting to Princess Street.

The subdivision is also serviced by a 0.8-hectare storm water management pond which flanks the west lot line near to the midpoint of the site and is located beside a park which is also proposed as a part of the subdivision and measures approximately 0.4 hectares. In addition to providing recreation and outdoor amenity space location of the two features abutting the west lot line provides an opportunity for active transportation connections to the lands further west in the event of that site’s development.

To accommodate planned transportation improvements, a strip of land would be dedicated to the City for road widening along Bayridge Drive. Additionally, a six-metre-wide sanitary easement at the southwest corner is proposed to connect with an easement across the abutting property connecting the sites sewer infrastructure to Princess Street while, a 12.0-metre-wide storm water easement is located at the northwest corner of the property.

Detailed engineering design will be undertaken at the final plan of subdivision stage, at which time tree preservation options will be explored to preserve trees along the outer perimeter of the site. The final plan of subdivision design will also include a street tree planting plan.

In support of the application, the applicant has submitted the following:

- Demonstration Report;
- Draft Plan of Subdivision;
- Noise Impact Feasibility Study;
- Phase 1 Environmental Site Assessment;
- Phase 2 Environmental Site Assessment;

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- Servicing Report, Josselyn Engineering;
- Stormwater Management Report;
- Traffic Impact Study; and
- Tree Inventory.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Provincial Policy Statement

The Provincial Policy Statement (2020) provides policy direction on matters of provincial interest related to land use planning and development, which are intended to be complemented by local policies addressing local interests.

The subject property is within the Urban Boundary of the City of Kingston, which would be considered a Settlement Area as defined by the PPS. The PPS guides growth and development to settlement areas to encourage land use patterns which make use of existing infrastructure, protect resources, and contribute to a mix of land uses and complete communities.

The proposed development conforms to the PPS by building up lands within the settlement area with an appropriate range and mix of housing options and densities. The proposed development supports active transportation and transit use through the inclusion of multi-use pathways and mid-block connections which create linkages between the subdivision and the commercial offerings along the Princess Street corridor immediately sought as well as the surrounding residential areas. The site is located along two existing transit routes and within walking distance to express service along Princess Street helping ensure that the development is transit supportive.

A detailed review of the applicable policies is attached in Exhibit E.

Official Plan Considerations

The subject property is designated a combination of both Low Density Residential and Medium Density Residential in the Cataraqui West Secondary Plan within the City of Kingston Official Plan. The Medium Density Residential designation can be described as a ‘U’ shaped area at the south end of the subject lands while the Low Density Residential designation applies to the remainder of the lands (Exhibit F – Official Plan, Land Use).

The Cataraqui West Secondary Plan has been incorporated into the City of Kingston Official Plan to implement the Cataraqui West Master Plan which outlines in greater detail the general land use and transportation concept plan intended for this neighbourhood. The proposed street layout and the location of the stormwater pond and public park is consistent with the vision for the area set out in the Cataraqui West Master Plan.

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The proposed subdivision achieves the goal of the secondary plan for the development of a sustainable, healthy, attractive, connected and vibrant residential neighbourhood through a variety of design features which includes the placement of a public park and storm water pond with frontage along the internal streets. The location of these features affords the possibility of future connections, while proposed mid-block walkways provide linkages to Bayridge Drive and Princess Street to the south.

The policies of the Cataraqi West Secondary Plan encourage a variety in housing types and ownership opportunities to accommodate people's different and changing housing needs as well as innovation in housing design to create an interesting and varied neighbourhood. The proposed subdivision plan achieves this through the incorporation of a mix of housing units as well as the innovative approach to having a share of the units "ARU ready" to facilitate the easy adoption of these homes into the proposed community.

The proposed development also meets Official Plan objectives for sustainable and climate friendly development. By developing in a compact form, the proposal will result in less land consumption and better energy efficiency when compared to other lower density-built forms. The site is also well situated within an area serviced by existing transit and is within walking distance to commercial as well as recreational opportunities.

The Cataraqi West Secondary Plan directs a density of between 14 and 45 units per net hectare within the Low-Density Residential designation and between 25 and 75 units per net hectare within the Medium Density Residential designation. The proposed subdivision layout proposes a net density of approximately 28.9 and 33.7 lots per hectare within the areas designated Low and Medium Density Residential respectively or 33.4 and 50.7 homes per hectare when recognizing the ARU ready units. Although the density of lots proposed are within the range established for the secondary plan area, they are below the minimum 37.5 units per hectare that the general policies of the Official Plan anticipate ensuring new development is transit supportive. Given that the per lot densities referenced above do not include additional residential units, which are planned to form a significant part of the future build out, will further increase the residential densities and because the densities are within the range set out in the secondary plan the proposed development achieves the required densities of the Official Plan to be transit supportive. It is highlighted that the buildout of the subdivision includes 49 lots which are ARU-Ready in the principal home and eight lots ARU-Ready to permit a third home in a detached building (Exhibit I).

Servicing the needs of the anticipated residents the subdivision has been designed to accommodate a minimum of two parking spaces per lot with many of the detached dwellings planned to accommodate four parking spaces. In addition to the parking spaces provided for each unit, the internal road network provides additional, temporary, parking for 121 spaces.

A detailed review of the applicable policies is attached in Exhibit G.

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Zoning By-Law Discussion

The subject lands are zoned Urban Residential 3.B (UR3.B) with either Exception Overlay E21 or E22 providing additional development criteria, the limits of which coincide with the Low Density Residential and Medium Density Residential designations of the Official Plan. The proposed amendments would re-zone the park block to an Open Space 2 (OS2) Zone consistent with its intended use as well as to amend the exception overlays to establish specific requirements for lots to be “ARU ready” to set the conditions necessary to enable the ready development of additional residential units within the subdivision and achieve the planned density. The proposed E144 and E145 overlays also reformat the existing provisions, approved by order of the Ontario Land Tribunal, in the City’s standard format.

Table 1 – Requested relief from proposed E21 and E22 Overlay

| Provision | Existing E21 & E22 | Proposed E144 & E145 | Relief Required |
|---|--------------------|--|-----------------|
| Additional Residential Units | Not applicable | Additional residential units and ARU Ready Spaces are considered a dwelling unit for the purpose of calculating the minimum density | Yes |
| Additional Residential Units - requirements (excerpt) | Not applicable | ARU Ready Space means floor area within a residential building that has been designed to be easily retrofitted with an additional residential unit, or, meets the criteria for an ARU-Ready Space for a detached accessory building. | Yes |

Additional Residential Units

The proposed addition of policies related to Additional Residential Units is intended to provide additional opportunities for housing choice and affordability while also increasing the density within the subdivision. The proposed exception overlay allows the ready conversion of homes to incorporate additional residential units and achieve the density envisioned in the Official Plan.

Other Applications

Subject to approval, the applicant would be required to fulfill all conditions of the draft plan of subdivision approval prior to submitting an application for final plan of subdivision approval at which time a final subdivision agreement would be registered on title. Proposals for plans of subdivision are also generally associated with an application for Pre-servicing Agreement.

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Technical Analysis

This application has been circulated to external agencies and internal departments for review and comment. All comments on the proposal have been addressed and no outstanding issues with this application remain at this time.

Public Comments

The following is a summary of the public input received to date, including a summary of the feedback received at the Community Meeting on February 17, 2022. All original written public comments are available in Exhibit K of this report.

- Comment: Traffic in the area will get worse as a result of the subdivision.

Response: Bayridge Drive is an arterial road while Cataraqui Woods Drive is a collector road. Both of these roads face increasing traffic volumes predominantly based on the growth of the City and not individual developments. It is highlighted that as part of the subdivision process, the applicant is dedicating to the City a strip of land along the east side of the property which is being developed to accommodate a separated multi-path trail and allow for a road widening.

- Comment: Mix of units lacks diversity

Response: Since the first submission, the applicant has greatly increased the mix of units within the subdivision.

- Comment: Sight lines will pose a safety concern

Response: The proposed sight lines have been modified since the first submission and have been reviewed to the satisfaction of the City's Engineering Department.

- Comment: Area is within a highly vulnerable aquifer and could cause drinking water concerns.

Response: Due to the nature of the City's geography and hydrology, most of the City is classified as being within a highly vulnerable aquifer under the Clean Water Act, the proposed development has been reviewed to the satisfaction of the City's Risk Management Official and has been confirmed as not constituting a drinking water threat.

- Comment: Noise Impact Study did not account for the self storage facility.

Response: The Noise Impact Feasibility Study has been updated to reflect the presence of the self-storage facility. Any requirements for noise attenuation on the proposed residences will be determined through a detailed noise study as a requirement of the final plan of subdivision where requirements for fencing or other mitigate measures would form a part of the subdivision agreement.

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- Comment: Wi-fi bandwidth is very poor and will be unusable with the additional demand of 261 homes.

Response: Telecommunications agencies are circulated as a part of the subdivision control process to help inform them of their infrastructure upgrades. No objection was raised with respect to the proposed subdivision.

Effect of Public Input on Draft By-Law and Draft Conditions

As a result of public input the draft plan of subdivision has been modified to allow for additional on-street parking. All technical comments have been addressed to the satisfaction of the internal departments and partner agencies.

Conclusion

Planning Services recommends approval of the application for a zoning by-law amendment and draft plan of subdivision for the property known as 1075 Bayridge Drive. The proposed subdivision makes use of existing services and is located in an area of existing transit as well as recreational and active transportation opportunities. The site contributes to the City's housing supply and represents an appropriate level of density within the urban area. The development is anticipated to be compatible with the existing neighbourhood and will not result in adverse impacts to neighbouring land uses. The proposed zoning by-law amendment is consistent with the Provincial Policy Statement and conforms to the City of Kingston Official Plan.

Existing Policy/By-Law:

The proposed amendment was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Planning Act

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 2022-62

Notice Provisions:

Pursuant to the requirements of the *Planning Act*, notice of the statutory public meeting was provided 20 days in advance of the public meeting in the form of a sign posted on the subject property and by mail to 215 property owners (according to the latest Assessment Rolls) within

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120 metres of the subject property. In addition, a courtesy notice placed in The Kingston Whig-Standard on December 28, 2023.

If the application is approved, a Notice of Passing will be circulated in accordance with the provisions of the *Planning Act*.

At the time of writing of this report, five pieces of written public correspondence have been received and all planning related matters have been addressed within the body of this report. Any public correspondence received after the publishing of this report will be included as an addendum to the Planning Committee agenda.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Ian Clendening, Senior Planner, 613-546-4291 extension 3126

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Draft By-Law and Schedule A & B to Amend Zoning By-Law Number 2022-62
- Exhibit B Proposed Draft Plan of Subdivision Conditions
- Exhibit C Key Map
- Exhibit D Neighbourhood Context (2023)
- Exhibit E Consistency with the Provincial Policy Statement
- Exhibit F Official Plan, Land Use
- Exhibit G Conformity with the Official Plan
- Exhibit H Zoning By-Law Number 2022-62

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- Exhibit I Plan of Subdivision & ‘ARU Ready” Conceptual Plan
- Exhibit J Public Notice Notification Map
- Exhibit K Public Comments

By-Law Number 2024-XX

A By-Law to Amend By-Law Number 2022-62, “Kingston Zoning By-Law Number 2022-62” (Zone Change from ‘UR3.B’ to ‘OS2’ Zone, Removal of Exception Numbers E21 and E22, and Introduction of Exception Numbers E144 and E145 (1075 Bayridge Drive))

Passed:

Whereas the Council of The Corporation of the City of Kingston enacted By-Law Number 2022-62, entitled “Kingston Zoning By-Law Number 2022-62” (the “Kingston Zoning By-Law”);

Whereas the Council of The Corporation of the City of Kingston deems it advisable to amend the Kingston Zoning By-Law;

Therefore be it resolved that the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 2022-62 of The Corporation of the City of Kingston is amended as follows:
 - 1.1. Schedule 1 – Zoning Map is amended by changing the zone symbol from ‘UR3.B’ to ‘OS2’, as shown on Schedule “A” attached to and forming part of this By-Law;
 - 1.2. Schedule E – Exception Overlay is amended by removing Exception Numbers ‘E21’ and ‘E22’ and adding Exception Numbers ‘E144’ and ‘E145’ as shown on Schedule “B” attached to and forming part of this By-Law;
 - 1.3. By adding the following Exception Number E144 in Section 21 – Exceptions, as follows:

“**E144.** Despite anything to the contrary in this By-law, the following provisions apply to the lands subject to this Exception:

 - (a) In addition to the **uses** permitted by the applicable Zone, the following **uses** are permitted:
 - (i) **triplex**; and
 - (ii) **apartment building**.

- (b) The maximum number of **dwelling units** within an **apartment building** is 4;
- (c) **Apartment buildings** and **triplexes** must comply with the following provisions:
 - (i) The minimum **lot frontage** is 15.0 metres;
 - (ii) The maximum **height** is the lesser of 12 metres or 3 storeys;
 - (iii) The minimum **front setback** is 3.0 metres;
 - (iv) The minimum **rear setback** is 7.6 metres;
 - (v) The minimum **exterior setback** is 3.0 metres;
 - (vi) The minimum **interior setback** is 3.0 metres; and
 - (vii) The minimum **landscaped open space** is 30%.
- (d) The minimum density of **dwelling units** per net hectare on lands with residential uses, excluding lands used for roads, stormwater management, sanitary servicing, public walkways, parks or open spaces is 30.5 dwelling units per net hectare;
- (e) **Additional residential units** and ARU Ready Spaces are considered a **dwelling unit** for the purpose of calculating the minimum **density**;
- (f) For the purposes of this Exception an “ARU Ready Space” means floor area within a **residential building** that has been designed to be easily retrofitted with an **additional residential unit** or meets the criteria for an ARU-Ready Space for a detached **accessory building**, and includes the provision of:
 - (i) **parking spaces** for 2 **dwelling units**; and
 - (ii) an unobstructed exterior area sufficient to provide a **walkway** to the **additional residential unit**.
- (g) For the purposes of this Exception an “easily retrofitted with an **additional residential unit**” means that all of the following are provided:
 - (i) plumbing “rough-ins” for a minimum of 1 bathroom and 1 kitchen;

- (ii) windows in conformity with egress requirements in the Ontario Building Code; and
- (iii) required electrical and telecommunication fixtures and wiring.
- (h) For the purposes of this Exception “ARU-Ready Space for a detached **accessory building**” means:
 - (i) The sanitary stub is provided to the rear footing (clear of weeping tile) and capped. Cleanouts and access knock outs to be provided as required by the Ontario Building Code;
 - (ii) A domestic water stub is provided to the rear footing (clear of weeping tile) and capped. Shut off valves to be provided as per the Ontario Building Code; and
 - (iii) Gas and electrical to be trenched from metre location (note: to be further completed by homeowner after occupancy).
- (i) Where a **lot** includes an ARU-Ready Space for a detached **accessory building** a second **driveway** from an **exterior side lot line** is permitted provided the cumulative width of all **driveways** does not exceed 6.0 metres.”

1.4. By adding the following Exception Number E145 in Section 21 – Exceptions, as follows:

“**E145.**Despite anything to the contrary in this By-law, the following provisions apply to the lands subject to this Exception:

- (a) In addition to the **uses** permitted by the applicable Zone, the following **uses** are permitted:
 - (i) **stacked townhouse**;
 - (ii) **apartment building**;
 - (iii) **triplex**; and
 - (iv) **non-residential uses** that are permitted in the CN Zone as per Table 15.1.2., where the **non-residential uses** are located only on the **first storey**.
- (b) A **stacked townhouse** must comply with the provisions that apply to a **townhouse**.

- (c) The maximum **building height** for a **building** other than an **apartment building** is 12.0 metres;
- (d) An **apartment building** with 5 or more **dwelling units** must comply with the provisions of the URM1 Zone, except that the maximum **height** is the lesser of 20.0 metres or 6 **storeys**;
- (e) **Apartment buildings** with 4 **dwelling units** and **triplexes** must comply with the following provisions:
 - (i) The minimum **lot frontage** is 15.0 metres;
 - (ii) The maximum **height** is the lesser of 12 metres or 3 storeys;
 - (iii) The minimum **front setback** is 3.0 metres;
 - (iv) The minimum **rear setback** is 7.6 metres;
 - (v) The minimum **exterior setback** is 3.0 metres;
 - (vi) The minimum **interior setback** is 3.0 metres; and
 - (vii) The minimum **landscaped open space** is 30%.
- (f) The minimum **density** of **dwelling units** per net hectare on lands with residential uses, excluding lands used for roads, stormwater management, sanitary servicing, public walkways, parks or open spaces is 37.5 dwelling units per net hectare;
- (g) **Additional residential units** and ARU Ready Spaces are considered a **dwelling unit** for the purpose of calculating the minimum **density**;
- (h) For the purposes of this Exception an “ARU Ready Space” means floor area within a **residential building** that has been designed to be easily retrofitted with an **additional residential unit** or meets the criteria for an ARU-Ready Space for a detached **accessory building**, and includes the provision of:
 - (i) **parking spaces** for 2 **dwelling units**; and
 - (ii) an unobstructed exterior area sufficient to provide a **walkway** to the **additional residential unit**.
- (i) For the purposes of this Exception an “easily retrofitted with an **additional residential unit**” means that all of the following are provided:

- (i) plumbing “rough-ins” for a minimum of 1 bathroom and 1 kitchen;
 - (ii) windows in conformity with egress requirements in the Ontario Building Code; and
 - (iii) required electrical and telecommunication fixtures and wiring.
- (j) For the purposes of this Exception “ARU-Ready Space for a detached **accessory building**” means:
- (i) The sanitary stub is provided to the rear footing (clear of weeping tile) and capped. Cleanouts and access knock outs to be provided as required by the Ontario Building Code;
 - (ii) A domestic water stub is provided to the rear footing (clear of weeping tile) and capped. Shut off valves to be provided as per the Ontario Building Code; and,
 - (iii) Gas and electrical to be trenched from metre location (note: to be further completed by homeowner after occupancy).
- (k) Where a **lot** includes an ARU-Ready Space for a detached **accessory building** a second **driveway** from an **exterior side lot line** is permitted provided the cumulative width of all **driveways** does not exceed 6 metres.”

2. This By-Law shall come into force in accordance with the provisions of the *Planning Act*.

Given all Three Readings and Passed: [Meeting Date]

Janet Jaynes
City Clerk

Bryan Paterson
Mayor



**Schedule 'A'
to By-Law Number**

Address: 1075 Bayridge Drive
File Number: D35-012-2021

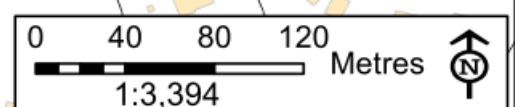
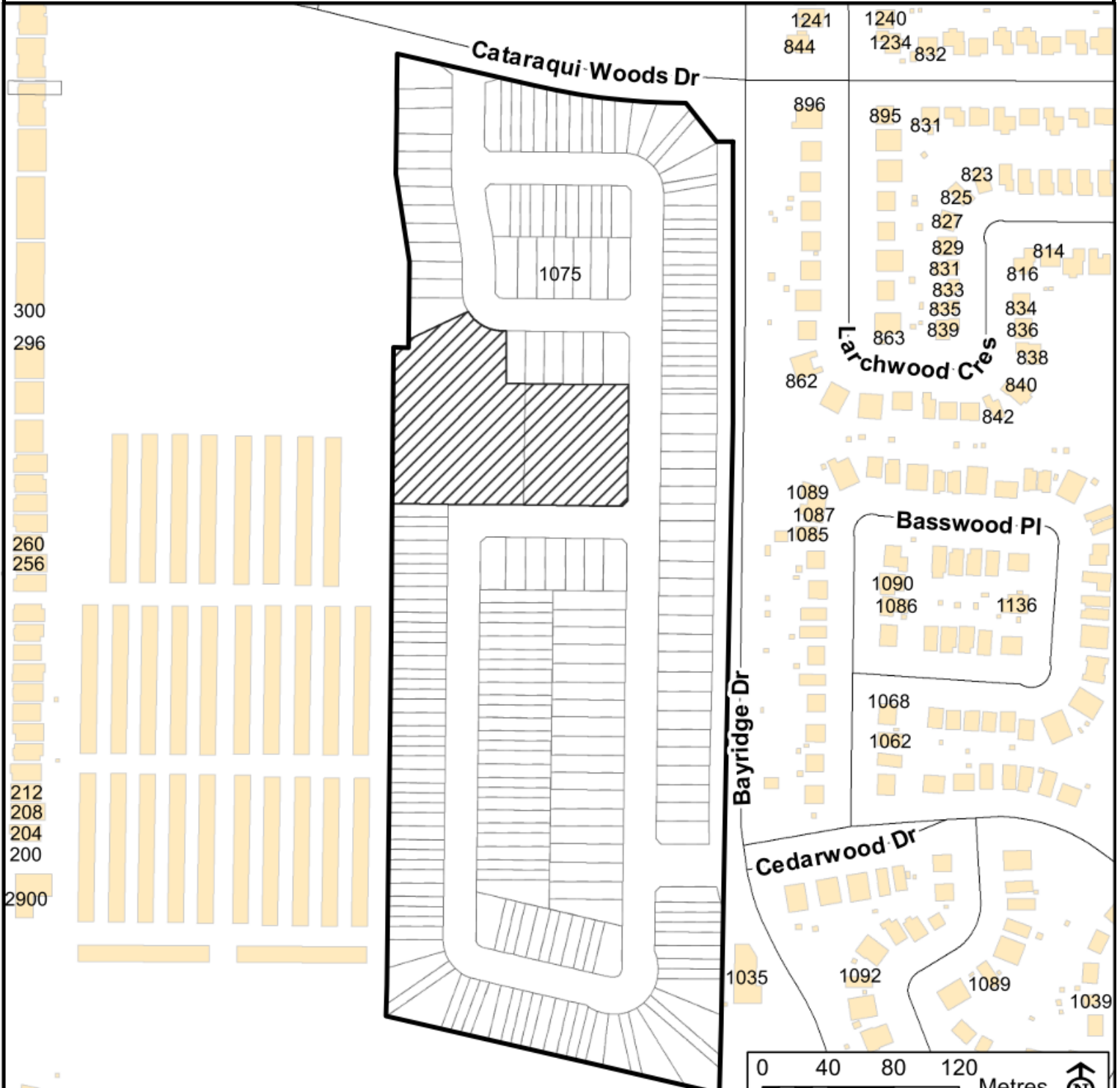
**Reference Kingston Zoning By-Law
Schedule 1 - Zoning Map**

Lands to be rezoned from UR3.B to OS

Certificate of Authentication

This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 2024.

Mayor Clerk





**Schedule 'B'
to By-Law Number**

**Kingston Zoning By-Law 2022-62
Schedule E - Exception Overlay**

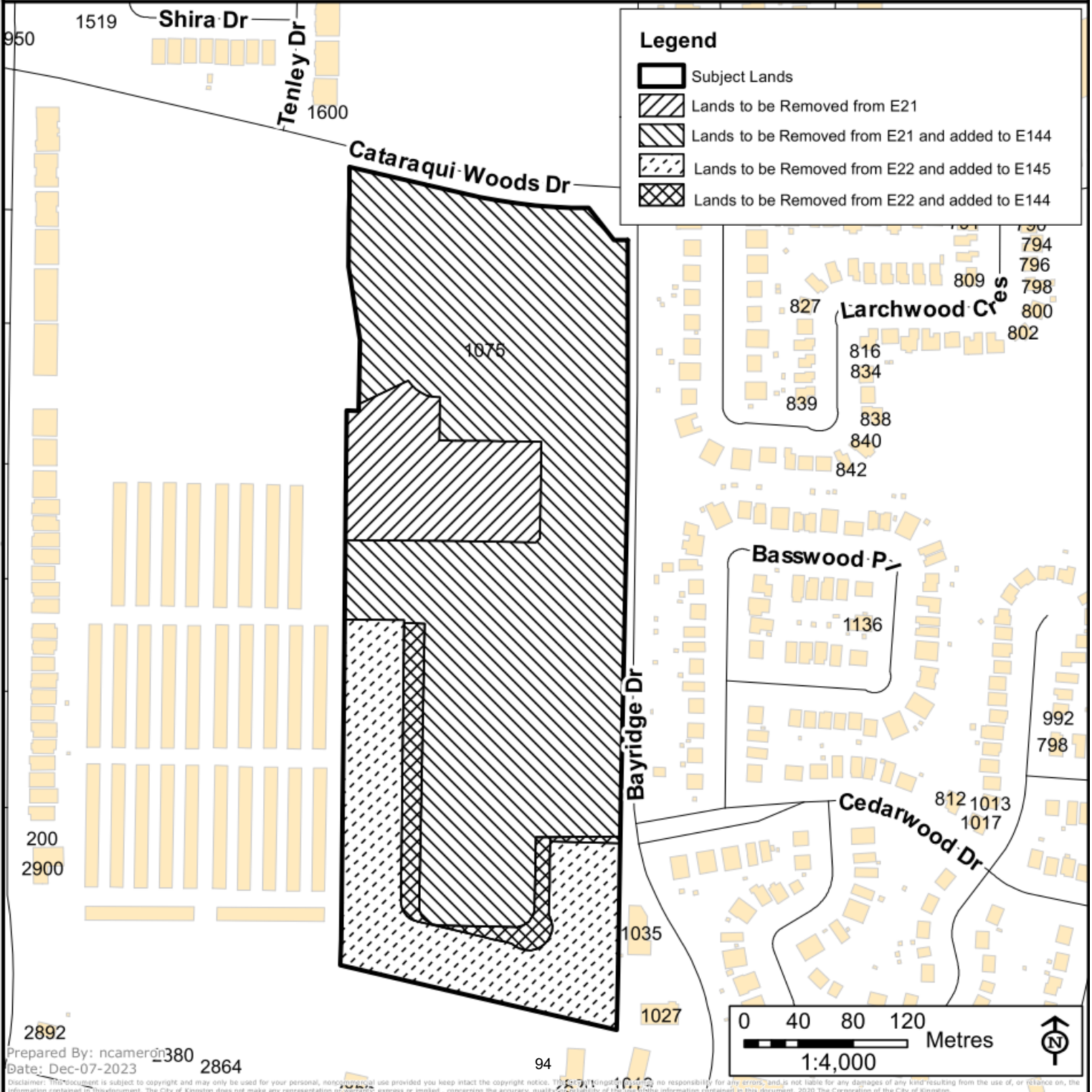
Address: 1075 Bayridge Drive
File Number: D35-012-2021

Certificate of Authentication

This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 2024.

Mayor

Clerk



Conditions Of Draft Plan Approval

1) Approved Draft Plan:

That this approval applies to the Draft Plan of Subdivision, prepared by Hopkins Chitty Land Surveyor's Inc., dated August 15, 2023 and which shows the following:

- a) 226 residential lots (Lots 1 - 226);
- b) 2 blocks for storm easement (Block 227-228);
- c) 1 block for stormwater management (Block 229);
- d) 1 block for park (Block 230); and
- e) 1 block for street widening (Block 231); and
- f) 1 block for walkway (Block 232); and
- g) 1 block for sanitary easement (Block 233);
- h) 4 blocks for roads (Streets A to D); and,
- i) 1 block for road reserve (Block 234)

2) Streets and Civic Addressing:

- a) That the road allowances included in this Plan shall be shown and dedicated as public highways.
- b) That the road allowances within the Plan shall be designed in accordance with the City's engineering standards and shall be dedicated to the City free of all charge and encumbrances. The streets, lots and blocks shall be designed to coincide with the development pattern on adjacent properties.
- c) **That Prior to Final Approval**, the Owner shall submit proposed street names for approval by the Planning and Development Department and shall be included on the first submission of the engineering drawings. The Streets within this Plan shall be named to the satisfaction of the City, in consultation with the Planning and Development Department, in accordance with the City's Civic Addressing and Road Naming By-law.
- d) **That Prior to Final Plan Approval**, the Owner shall provide confirmation that **civic addresses** have been assigned to the proposed lots and blocks by the City's Planning Services Department, in accordance with the City's Civic Addressing and Road Naming By-Law. The Owner shall be advised that the civic addresses are tentative until such time that the final plan is registered and the final lot layout has been confirmed.

- e) For lots with more than one road frontage, the lots will be addressed on the road frontage on which primary vehicular access is situated. Prior to applying for a building permit the Owner shall confirm with the Planning Services Department the appropriate road frontage where primary vehicular access is to be provided and shall confirm the approved civic address in order to comply with the City's Civic Addressing and Road Naming By-Law and emergency response requirements.
- f) That the Owner shall agree that the location and design of any **construction access** shall be approved by the City and/or the appropriate authority.

3) Reserves and Easements:

- a) Any dead end or open side of a road allowance within the Plan shall be terminated in a 0.3 metre reserve to be conveyed to the City free of all charges and encumbrances.
- b) That such easements as may be required for utility or drainage purposes shall be granted to the appropriate authority free of all charges and encumbrances.

4) Financial Requirements:

- a) That the Owner agrees in writing to satisfy all the requirements, financial and otherwise, of the City concerning all provisions of municipal services but not limited to including fencing, lighting, landscaping, sidewalks, roads, installation of underground services, provisions of drainage and noise mitigation where required.
- b) **That Prior to Final Plan Approval**, the Owner shall submit for the City's approval a detailed breakdown of the construction costs for the works associated with the development of this Plan, including any cash surcharges or special levies. The construction costs shall be prepared and stamped by a professional engineer. The cost estimate shall be submitted in the City's standard format for incorporation into both the Pre-Servicing and Subdivision Agreements.
- c) That the Owner shall bear the expense of all off site works resulting from the approved public works design where such works are not subsidized under the Policies and By-Laws of the City.
- d) That the Owner agrees to reimburse the City for the cost of any Peer Reviews of the Studies / Reports submitted in support of the proposed Plan of Subdivision.

5) Subdivision Agreement:

- a) That the Owner shall enter into the City's standard Subdivision Agreement which shall list all approved plans and municipal conditions as required by the City for the development of this Plan.

- b) The Subdivision Agreement between the Owner and the City be registered against the lands to which it applies once the Plan of Subdivision has been registered.
- c) That the Subdivision Agreement shall contain all necessary warning clauses and notices to purchasers resulting from, but not necessarily restricted to, the design and provision of services, including the requirement to provide and maintain private site-specific works as necessary.

6) Holding Provisions:

- a) That the City shall require the use of 'H-' Holding Provisions in accordance with Section 36 of the Planning Act. The terms for the removal of the Holding 'H-' Holding Symbol shall be in accordance with Section 22 of Zoning By-Law No. 2022-62 and shall require the following:
 - (1) confirmation of sufficient servicing capacity for the development; and
 - (2) that all necessary approvals have been received from all other agencies and government bodies and any required Agreements have been executed by the Owner;

7) Engineering Drawings:

- a) **That Prior to Final Plan Approval**, the Owner shall submit for approval, subdivision design drawings, including design plans for all public works and services, prepared and certified by a Professional Engineer and designed pursuant to the City's Subdivision Design Guidelines to the satisfaction of the City. The drawings shall form part of the Subdivision Agreement.
- b) **That Prior to Final Plan Approval**, the Owner shall submit a digital listing of the approved subdivision design drawings in the City's standard format for incorporation into the Pre-Servicing and Subdivision Agreement.

8) Revisions to Draft Plan:

- a) That any further subdivision of Blocks or additional road patterns on the Plan shall be completed to the satisfaction of the City.
- b) **That Prior to Final Plan Approval** of any part of the Plan, the Owner shall submit a revised Plan, if required, to reflect any significant alterations caused from this Draft Plan Approval.
- c) That where final engineering design(s) result in minor variations to the Plan (e.g., in the configuration of road allowances and lotting, number of lots, etc.), these may be reflected in the Final Plan to the satisfaction of the City.

9) Phasing:

- a) That Final Plan Approval for registration may be issued in phases to the satisfaction of the City, subject to all applicable fees.
- b) That the **phasing** of the development shall be reflected in the Subdivision Agreement and on the approved subdivision design drawings to the satisfaction of the City, taking into account the temporary termination of underground services, interim grading, interim stormwater management, operations and maintenance vehicle access and access for emergency vehicles.
- c) That the phasing of the development shall be proposed in an orderly progression, in consideration of such matters as the timing of road improvements, infrastructure, schools and other essential services.
- d) That all agencies agree to registration by phases and provide clearances, as required, for each phase proposed for registration; furthermore, the required clearances may relate to lands not located within the phase sought to be registered.

10) Zoning By-Law Compliance:

- a) That the lands within this Draft Plan shall be appropriately zoned by a Zoning By-Law which has come into effect in accordance with the provisions of the Planning Act.
- b) **That Prior to Final Plan Approval**, the Owner shall submit a Surveyor's Certificate which confirms that the lots and blocks within this Plan conform to the minimum lot frontage and lot area requirements of the applicable Zoning By-Law.

11) Required Studies:

- a) That **Prior to Final Plan Approval**, the Owner shall submit a **Geotechnical Study**, prepared by a Professional Engineer, to the satisfaction of the City. The recommendations of the Geotechnical Study shall be incorporated into the Subdivision Agreement and the Subdivision Agreement shall contain provisions whereby the Owner agrees to implement the Study recommendations to the satisfaction of the City.
- b) That **Prior to Final Plan Approval**, the Owner shall demonstrate that the soil and groundwater quality of the property is compatible with a residential land use as defined by the generic criteria listed within the Guideline for Use at Contaminated Sites in Ontario (MOE, rev. 1997).

The acceptable method for this demonstration would be a **Phase I Environmental Site Assessment (ESA)** performed in accordance with CSA standard Z768-01 and any required follow up investigations (Phase II ESA) or

remediation. The recommendations of the Study shall be incorporated into the Subdivision Agreement and the Subdivision Agreement shall contain provisions whereby the Owner agrees to implement the Study recommendations to the satisfaction of the City.

Should site remediation be required to meet the applicable soil and ground water criteria set out in applicable guidelines, the Owner shall submit to the City **Prior to Final Plan Approval**, a copy of the Record of Site Condition acknowledged by a Provincial Officer of the Ministry of the Environment.

The Owner shall provide a certificate by a qualified professional that all lands within the Plan and any lands and easements external to the Plan to be dedicated to the City, meet the applicable soil and ground water criteria.

- c) **That Prior to Final Plan Approval** all recommendations of the **Servicing Study** shall be incorporated into the Subdivision Agreement and the Subdivision Agreement shall contain provisions whereby the Owner agrees to implement the Study recommendations to the satisfaction of the City.
- d) **That Prior to Final Plan Approval**, the Owner shall submit a **Traffic Impact Report** prepared by a professional engineer to the satisfaction of the City. The Subdivision Agreement shall contain provisions for the Owner to design, construct and financially secure the costs of any off site road improvements as are deemed necessary by the recommendations to the satisfaction of the City's Director of Transportation Services.
- e) **That Prior to Final Plan Approval**, a **Stormwater Management Report** and implementing plans for the development shall be prepared by a qualified Professional Engineer, to the satisfaction of the City, Cataraqui Region Conservation Authority, and Parks Canada. Such plans shall be included in the Subdivision Agreement. The Owner shall carry out the recommendations of the report, at his expense, to the satisfaction of the City and the Cataraqui Region Conservation Authority.
- f) **That Prior to Final Plan Approval**, the Owner shall submit a detailed **Noise Impact Study** prepared to the satisfaction of the City and the Ministry of Environment. The recommendations of the Study shall be incorporated into the Subdivision Agreement and the Subdivision Agreement shall contain provisions whereby the Owner agrees to implement the Study recommendations to the satisfaction of the City.

12) Archaeological Assessment:

- a) That the Subdivision Agreement shall contain provisions that in the event that deeply buried or previously undiscovered archaeological deposits are discovered

in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Culture & Sport (416-314-7132) and the City of Kingston Heritage Planner (613-546-4291 ext. 1844) must be immediately contacted.

- b) That the Subdivision Agreement shall contain provisions that in the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services (416-326-8404), the Cultural Program Branch of the Ministry of Culture (416-314-7132), and the City of Kingston Heritage Planner (613-546-4291 ext 1844) must be immediately contacted.

13) Stormwater Management:

- a) **Following the Registration of the Final Plan of Subdivision**, Blocks 227, 228, and 229 shall be deeded to the City for Stormwater Management purposes. The design of the pond's open space, including any connecting paths, shall be subject to approval by the City.
- b) **That Prior to Final Plan Approval**, the Owner shall submit lot grading and drainage plans, and erosion and sediment control plans prepared by a qualified Professional Engineer for the Owner, to the satisfaction of the City and the Cataraqui Region Conservation Authority. The approved plans shall be included in the Subdivision Agreement between the Owner and City.
- c) **Prior to Final Plan Approval and Prior to any Works Commencing on the Site**, the Owner shall submit for approval by the City and the Cataraqui Region Conservation Authority (CRCA), a detailed engineering report(s) that describes the storm drainage system for the proposed development, which shall include:
- i) plans illustrating how this drainage system will be tied into the surrounding drainage systems, and indicating whether it is part of an overall drainage scheme, the design capacity of the receiving system and how external flows will be accommodated;
 - ii) the location and description of all outlets and other facilities;
 - iii) storm water management techniques which may be required to control minor and major flows;
 - iv) proposed methods of controlling or minimizing erosion and siltation on-site and in downstream areas during and after construction;
 - v) overall grading plans for the subject lands;

- vi) storm water management practices to be used to treat storm water, to mitigate the impacts of development on the quality and quantity of ground and surface water resources as it relates to fish and their habitat; and
- vii) The final stormwater management plan should include a section that speaks to Low Impact Development (LID) stormwater management features that may be suitable for incorporation into the final stormwater system design. This section should refer to specific site conditions including geotechnical investigation for soil depths and final site grading.
- d) That the Owner shall agree to maintain all storm water management and erosion and sedimentation control structures operating and in good repair during the construction period.

14) Parkland Conveyance / Open Space / Environmental Protection Areas:

- a) That the Owner conveys up to 5% residential and up to 2% commercial of the land included in the Plan of Subdivision to the City for functional park or other public recreational purposes. Where the subdivision exceeds 15 units per residential hectare of land, the Owner shall convey lands for recreational purposes at a rate of one hectare (2.5 acres) for each 300 dwelling units. Alternatively, the City may require cash-in-lieu for all or a portion of the conveyance.
- b) That lands to be conveyed to the City for park or other public recreational purposes shall be subject to the following conditions:
 - i) That Prior to Assumption of the park, the Manager of Culture, Parks and Recreation shall be in receipt of a clearance memo from the Manager of Environment indicating that the park site is environmentally clean.
 - ii) That the Owner shall enter into a Site Access Agreement with the City to permit City staff to access the park site to complete pre-engineering, survey and design works for the park. This Agreement shall terminate once the City is deeded the land as part of Final Plan Approval.
 - iii) That Prior to the Commencement of any Clearing, Grubbing or Construction Work within 10 metres of the park blocks defined on the Draft Plan, the Owner shall:
 - (1) Install snow fencing around the periphery of the park site to protect the site. The City will be responsible for the maintenance of the fence and its removal.
 - (2) Post signage to City specifications, on all accessible sides of each park block, which indicates:

- the future use of the block as a park; and
 - that no construction storage shall occur on this parcel of land nor shall any construction debris be dumped on this site.
- iv) That Prior to the Transfer of Deeds for the Parkland to the City, the Manager of Culture, Parks and Recreation or designate shall inspect the park site to ensure that the park is in a clean/natural state. The conditions on the site must be satisfactory to the Manager of Culture, Parks and Recreation prior to transfer of title and the removal of the snow fencing. Should the park blocks be in an unsatisfactory state, the Owner shall be held responsible for restoring the site to the City's satisfaction.
- c) **That Prior to Final Plan Approval**, the Owner shall prepare a **Landowner Information Package**, to the satisfaction of the City and the Cataraqui Region Conservation Authority, which shall be distributed to all prospective purchasers and shall be appended to their Agreements of Purchase and Sale or Lease. Text shall be included in the Subdivision Agreement between the Owner and the City, to the satisfaction of the City and the Cataraqui Region Conservation Authority, to require a Notice to Purchasers that the Landowner Information Package has been prepared to provide information about additional residential units including conceptual floor plan(s) illustrating how the space in the residential building can be converted to establish and function as an additional residential unit. Such conceptual floor plan(s) will be prepared with the intention of being used to inform the application for building permit(s) required to support the development of an additional residential unit in the future. The Landowner Information Package shall be registered on title of the subject property.

15) Tree Inventory / Landscape Plan:

- a) That prior to any grubbing/clearing or construction on parcels of land not defined as roadways or servicing easements on the draft plan, the Owner shall receive final approval from the City for a **Tree Preservation Plan** prepared for the subject lands. The final approved tree inventory plan shall be prepared by a certified arborist (ISA approved), and shall set out the surveyed locations of all trees on the site. The tree inventory shall list the species, caliper size, condition, crown radius and indicate whether the tree is to be retained or removed. If trees 6 inches (150 milometers) or more in diameter are to be removed from the subject lands, the developer will abide by the conditions of the tree removal permit under the Tree Conservation By-Law which may, at the Supervisor of Forestry's discretion, include a tree preservation plan, a tree replacement plan or cash compensation for the value of the trees to be removed. If the tree is to be removed a rationale for this action must be noted. If significant trees or groups of

trees are identified to be retained in the tree inventory, a Tree Preservation Plan will be required prior to final approval at the discretion of the City. This plan shall be reviewed and approved by the City and be included as a schedule to the Subdivision Agreement. Requirements for the tree preservation plan are noted in the subdivision design guidelines produced by the City.

- b) **That Prior to Final Plan Approval**, the Owner shall submit a **Street Tree Planting Plan** prepared by a Landscape Architect to the satisfaction of the City.

16)Canada Post - Community Mail Boxes:

- a) **That Prior to Final Plan Approval**, the Owner shall, in consultation with and to the satisfaction of Canada Post, identify the location of community mail boxes within the Plan, and shall identify such locations on drawings for approval by the City.
- b) **That Prior to Final Plan Approval**, the Owner shall, in consultation with and to the satisfaction of the City, provide detailed design plans for the community mail boxes including a landscape plan showing street furniture and complimentary architectural features.
- c) That the Owner shall provide a suitable temporary community mailbox location(s) until the curbs, sidewalks and final grading have been completed at the permanent location(s).
- d) **That prior to Final Plan Approval**, the Owner shall enter into a Community Mailbox Developer Agreement and pay the Address Activation Fee with Canada Post Corporation for the installation of Community Mail Boxes as required by Canada Post.
- e) That the Owner shall identify in all offers of purchase and sale, or lease for all lots and blocks within this Plan that mail delivery will be provided via a community mail box, provided that the Owner has paid for the activation and equipment installation of the community mail box, and the locations of all community mail boxes within this Plan. A Notice to Purchasers shall also be included in the Subdivision Agreement to this effect.

17)Bell Canada Requirements:

That the Owner shall meet the following conditions of Bell Canada:

- a) that the Owner shall agree in the Subdivision Agreement, in words satisfactory to Bell Canada, to grant Bell Canada any easements that may be required for telecommunications services; and,
- b) that the Owner shall be requested to enter into an Agreement (Letter of Understanding) with Bell Canada complying with any underground servicing

conditions imposed by the City, or if no such conditions are imposed, the Owner shall advise the Municipality of the arrangements for servicing.

- c) The Owner is hereby advised that prior to commencing any work within the Plan, the Owner must confirm that sufficient wire-line communication/telecommunication infrastructure is currently available within the proposed development to provide communication/telecommunication service to the proposed development. In the event that such infrastructure is not available, the Developer is hereby advised that the Developer may be required to pay for the connection to and/or extension of the existing communication/telecommunication infrastructure. If the Developer elects not to pay for such connection to and/or extension of the existing communication/telecommunication infrastructure, the Developer shall be required to demonstrate to the municipality that sufficient alternative communication/telecommunication facilities are available within the proposed development to enable, at a minimum, the effective delivery of communication/telecommunication services for emergency management services (i.e., 911 Emergency Services).

18) Enbridge Gas Requirements:

- a) That the Owner shall provide Enbridge Gas the necessary easement and/or agreements required by Enbridge Gas for the provision of gas services for this project, in a form satisfactory to Enbridge.

19) Utilities Requirements:

- a) **Prior to Final Plan Approval**, the Owner shall satisfy all technical, financial and other requirements of Utilities Kingston regarding the design, installation, connection and/or expansion of water distribution services and sanitary sewer collection services, or any other related matters.
- b) **Prior to Final Plan Approval**, the Owner shall provide a copy of the registered transfer relating to such easements and/or land conveyances required for sanitary service connections between Block 233 to the existing sanitary infrastructure on Princess Street where such connection is necessary for a lot considered for Final Plan Approval. The Owner is responsible for all costs associated with the design and construction of such connection.
- c) Following the Registration of the Final Plan of Subdivision, Blocks 233 shall be deeded to the City for the purpose of sanitary services. The Owner is responsible for all costs associated with the design and construction of such works.

- d) The Owner shall agree to design, purchase materials and install a street lighting system, compatible with the existing and/or proposed systems in surrounding Plans, all in accordance with Municipal standards and specifications.
- e) The Owner shall agree to design, purchase materials and install a street lighting system, compatible with the existing and/or proposed systems in surrounding Plans, all in accordance with Municipal standards and specifications.

20) Kingston Transit:

- a) Prior to Final Plan Approval, the Owner shall design and install a 10 metre by 4 metre curbside concrete pad on the south side of the Cataraqui Woods Drive road allowance (at the southwest corner with Shadybrooke Drive) to the satisfaction of the City. The City shall also collect securities for these works through the Subdivision Agreement.

21) Cataraqui Region Conservation Authority:

- a) That the Subdivision Agreement shall contain text to the satisfaction of the City and the CRCA notifying the Owner that permission will be required under Ontario Regulation 148/06: Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses prior to commencing excavation, rough grading, stockpiling, etc. within 30 metres of the Highgate Creek diversion channel and within 30 metres of the east branch tributary and prior to any modification or alteration of either watercourse.
- b) That the Subdivision Agreement shall contain text to the satisfaction of the City and the CRCA to provide notice to purchasers of Lots 1, 2 and 158 to 164 (from the August 15, 2023 Draft Plan of Subdivision) that site alteration and construction (including but not limited to buildings, structures, filling and grading) on these lots will require permission under Ontario Regulation 148/06: Development, Interference with activities.

22) Warning Clauses:

That the Owner shall cause the following warning clauses to be included in all agreements of purchase and sale, or lease for all lots / blocks within this Plan.

- a) within the entire subdivision plan:
 - “Purchasers and/or tenants are advised that despite the inclusion of noise control features within both the development area and the individual building units, noise levels, including from construction activities, may be of concern and occasionally interfere with some activities of the dwelling occupants.”

- “Purchasers and/or tenants are advised that traffic calming measures may have been incorporated into the road allowances.”
 - “Purchasers and/or tenants are advised that mail delivery will be from a designated community mailbox, the location of which will be identified by the Owner prior to any home closings.”
- b) abutting any open space, woodlot or storm water facility:
- “Purchasers and/or tenants are advised that the adjacent open space, woodlot or storm water management facility may be left in a naturally vegetated condition and receive minimal maintenance.”
- c) abutting a park block:
- “Purchasers and/or tenants are advised that the lot abuts a public park”, and that noise and lighting should be expected from the designed active use of the park.”
- d) abutting any open space:
- “Purchasers and/or tenants are advised that the adjacent open space may be left in a naturally vegetated condition and receive minimal maintenance.”
- e) The following warning clause will be incorporated into all offers of purchase and sale, or leases for Lots 1 and Lots 37 to 110 inclusive:
- “Purchasers/tenants are advised that sound levels due to increasing road traffic may occasionally interfere with some activities of the dwelling occupants as the sound levels exceed the Municipality’s and the Ministry of the Environment, Conservation and Parks’ noise criteria.

This dwelling unit has been fitted with a forced air heating system and the ducting, etc. was sized to accommodate central air conditioning. Installation of central air conditioning by the occupant will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the Municipality’s and the Ministry of the Environment, Conservation and Parks’ noise criteria. (Note: The location and installation of the outdoor air conditioning device should be done so as to comply with noise criteria of MECP Publication NPC-216, Residential Air Conditioning Devices and thus minimize the noise impacts both on and in the immediate vicinity of the subject property.)”
- f) The following warning clause will be incorporated into all offers of purchase and sale, or leases for Lots 96 to 115 inclusive:

- “Purchasers are advised that due to the proximity of the adjacent Kingston KIA Automotive Dealership and repair facility, Suds Car Wash facility, and Unity Child Care Centre, noise from these facilities may at times be audible.”

23) Model Homes:

- a) That where the Owner proposes to proceed with the construction of a model home(s) prior to registration of the Plan, the Owner shall enter into an Agreement with the Municipality, setting out the conditions, and shall fulfill all relevant conditions of that Agreement prior to issuance of a building permit.

24) General Conditions:

- a) **That Prior to Final Plan Approval**, the Applicant will submit a detailed account of how each Condition of Draft Plan Approval has been satisfied.
- b) That the Owner shall pay any and all outstanding application fees to the Planning Services Department, in accordance with the Municipality’s Fees and Charges By-Law.
- c) That when requesting Final Approval from the Municipality, the Owner shall accompany such request with the required number of originals and copies of the Final Plan, together with a surveyor’s certificate stating that the lots/blocks thereon conform to the frontage and area to the requirements of the Zoning By-Law.
- d) That the Owner agrees to remove any driveways and buildings on site, which are not approved to be maintained as part of the Plan; any modification to off-site driveways required to accommodate this Plan shall be coordinated and completed at the cost of the Owner.
- e) That the Owner agrees that all lots or blocks to be left vacant shall be graded, seeded, maintained and signed to prohibit dumping and trespassing prior to assumption of the works by the municipality.
- f) **That Prior to Final Plan Approval**, the Owner shall pay the proportionate share of the cost of any external municipal services, temporary and/or permanent, built or proposed, that have been designed and oversized by others to accommodate the subject plan.
- g) That the Owner shall agree to erect fencing in the locations and of the types as shown on the approved subdivision works drawings and as required by the Municipality.

- h) The Owner shall agree that no building permits, with the exception of model homes, will be applied for until the Municipality is satisfied that adequate access, municipal water, sanitary and storm services are available.

25) Clearance Letters:

- a) **That Prior to Final Plan Approval**, the approval authority shall advise that all Conditions of Draft Plan Approval have been satisfied; the clearance memorandum shall include a brief statement detailing how each Condition has been met.
- b) **That Prior to Final Plan Approval**, the Municipality is to be advised in writing by the Cataraqui Region Conservation Authority the method by which Conditions 21 have been satisfied.
- c) **That Prior to Final Plan Approval**, the City is to be advised in writing by Canada Post the method by which Condition 16 has been satisfied.
- d) **That Prior to Final Plan Approval**, the Municipality is to be advised in writing by Bell Canada the method by which Condition 17 has been satisfied.
- e) **That prior to Final Plan Approval**, the City is to be advised in writing by Enbridge Gas the method by which Condition 18 has been satisfied.

26) Lapsing Provisions:

- a) That pursuant to Section 51(32) of the *Planning Act*, this Draft Plan Approval shall lapse at the expiration of **three (3) years from the date of issuance of Draft Plan Approval** if final approval has not been given, unless an extension is requested by the Owner and, subject to review, granted by the approval authority.
- b) That pursuant to Section 51(33) of the *Planning Act*, the Owner may submit a request to the approval authority for an extension to this Draft Plan Approval. The extension period shall be for a maximum of two (2) years and must be submitted prior to the lapsing of Draft Plan Approval. Further extensions may be considered at the discretion of the approval authority where there are extenuating circumstances.

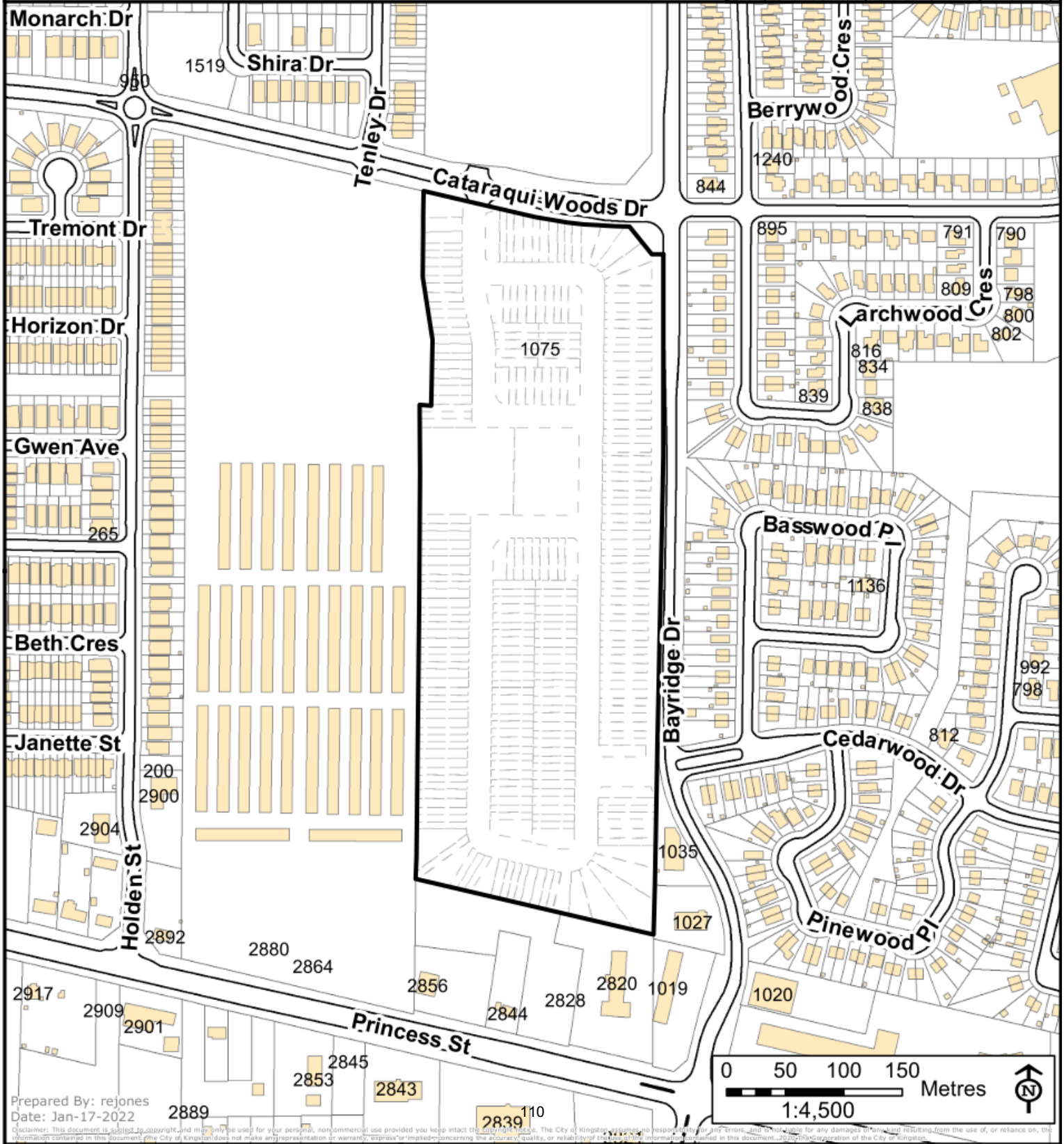
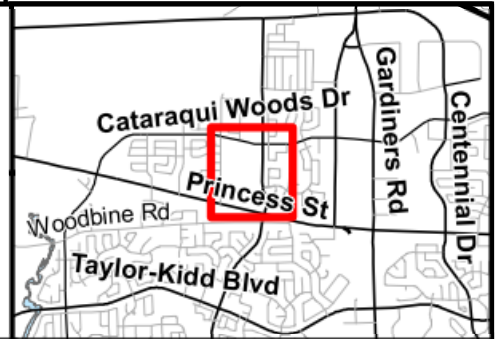
Notes To Draft Plan Approval:

- 1) It is the Applicant's responsibility to fulfill the foregoing Conditions of Draft Plan Approval and to ensure that the required clearance letters are forwarded by the appropriate agencies to the Planning and Development Department of the City of Kingston.
- 2) **Prior to Final Plan Approval**, the Applicant shall submit to the Municipality of Kingston for review four (4) draft copies of all Reference Plans and Surveys and three (3) draft copies of the Final M- Plan.
- 3) When requesting final approval, such a request must be directed to the Planning and Development Department and be accompanied with:
 - a) Eight (8) mylars and four (4) paper prints of the completed Final M-Plan,
 - b) Four (4) copies of all Reference Plans and (4) copies of all Conveyance Documents for all easements and lands being conveyed to the Municipality; and,
 - c) A Surveyor's Certificate to the effect that the lots and blocks on the Plan conform to the Zoning By-Law.
- 4) All measurements in subdivision final plans must be presented in metric units.
- 5) Hydro One advises that an electrical distribution line operating at below 50,000 volts might be located within the area affected by this development or abutting this development. Section 186 – Proximity – of the Regulations for Construction Projects in the Occupational Health and Safety Act, requires that no object be brought closer than 3 metres (10 feet) to the energized conductor. It is the proponent's responsibility to be aware, and to make all personnel on site aware, that all equipment and personnel must come no closer than the distance specified in the Act. They should also be aware that the electrical conductors can raise and lower without warning, depending on the electrical demand placed on the line. Warning signs should be posted on the wood poles supporting the conductors stating **"DANGER – Overhead Electrical Wires"** in all locations where personnel and construction vehicles might come in close proximity to the conductors.
- 6) The Final Plan approved by the Municipality must be registered within thirty (30) days or the Municipality may, under Subsection 51(59) of the *Planning Act*, withdraw its approval.



CITY OF KINGSTON
Key Map
Address: 1075 Bayridge Dr
File Number: D35-012-2021

 Subject Lands

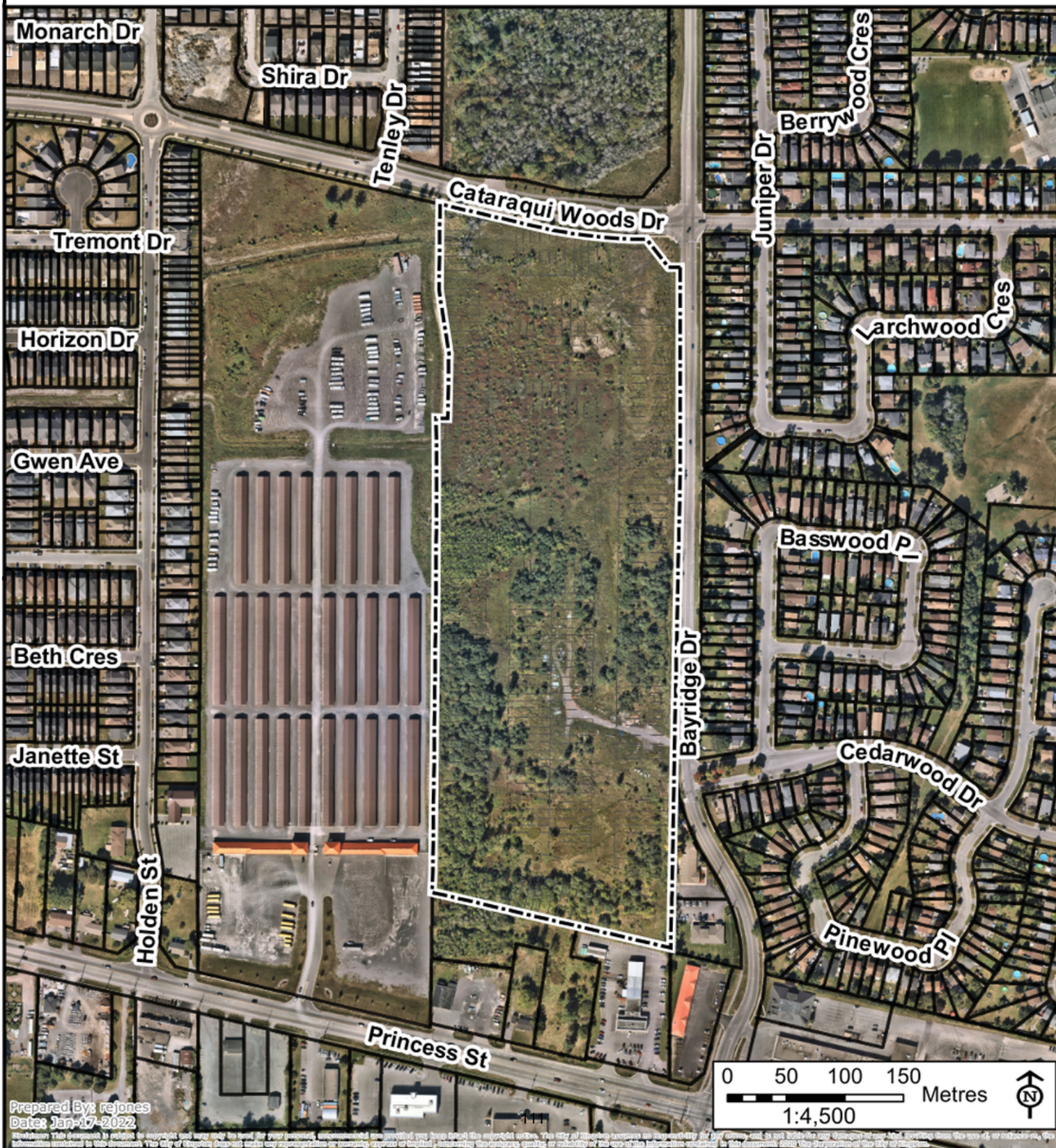




CITY OF KINGSTON Neighbourhood Context (2021)

Address: 1075 Bayridge Dr
File Number: D35-012-2021

- Property Boundaries
- Proposed Parcels



Demonstration of How the Proposal is Consistent with the Provincial Policy Statement

| Policy Number | Policy | Category | Consistency with the Policy |
|---------------|---|---|--|
| 1.1.1 | <p>Healthy, livable and safe communities are sustained by:</p> <p>a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;</p> <p>b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;</p> <p>c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;</p> <p>d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent</p> | <p>Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns</p> | <p>The proposed development is within the designated settlement area.</p> <p>The proposal is for a medium density housing development which will serve to add 226 new homes in a variety of building types.</p> <p>The proposed development is not expected to result in any environmental or public health and safety concerns.</p> <p>The development is efficient in its use of land, City services and City infrastructure. The subject lands are currently undeveloped and form part of the Cataraqui West Master Plan Community which is intended to accommodate a portion of the City’s anticipated growth.</p> <p>The development will be required to comply with Accessibility for Ontarians with Disabilities Act (AODA) standards for private development, including common indoor and outdoor spaces.</p> <p>The proposed development will use existing public service facilities.</p> <p>The proposed development is located within the urban</p> |

| Policy Number | Policy | Category | Consistency with the Policy |
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| | <p>or close to settlement areas;</p> <p>e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;</p> <p>f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;</p> <p>g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;</p> <p>h) promoting development and land use patterns that conserve biodiversity;</p> <p>and</p> <p>i) preparing for the regional and local impacts of a changing climate.</p> | | <p>boundary. Residential development at this location alleviates pressure to expand the urban boundary outward into the rural area of the City and therefore will help to preserve overall biodiversity while the final plan of subdivision will include a street tree planting program.</p> <p>The proposed development supports efforts to combat the changing climate regionally and locally by developing in a medium density, compact form, resulting in less land consumption when compared to lower density built form.</p> |
| 1.1.3.1 | Settlement areas shall be the focus of growth and development. | Settlement Areas | The subject property is located within the Urban Boundary, which is the defined settlement area for the City. |

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| 1.1.3.2 | <p>Land use patterns within settlement areas shall be based on densities and a mix of land uses which:</p> <ul style="list-style-type: none"> a) efficiently use land and resources; b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion; c) minimize negative impacts to air quality and climate change, and promote energy efficiency; d) prepare for the impacts of a changing climate; e) support active transportation; f) are transit-supportive, where transit is planned, exists or may be developed; and g) are freight-supportive. <p>Land use patterns within <i>settlement areas</i> shall also be based on a range of uses and opportunities for <i>intensification</i> and <i>redevelopment</i> in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.</p> | Settlement Areas | <p>The development is efficient in its use of land, City services and City infrastructure. Multiple transit opportunities as well as multi-use trails exist in the immediate proximity of the site. The development is compact in form maximizing the use of land for the mix of single-detached, semi-detached and row houses, as well as the inclusion of homes which are ready to be converted to house up to two additional units.</p> <p>The internal roads are an efficient expansion to the City's network and link to the surrounding area through the extension of existing intersections.</p> |
| 1.1.3.3 | <p>Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a</p> | Settlement Areas | <p>See Sections 1.1.1 and 1.1.3.2.</p> |

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| | significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs. | | |
| 1.1.3.4 | Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety. | Settlement Areas | The recommended zoning standards for this site promote intensification in a compact form through the use of minimum densities of 30.5 units per hectare and 37.5 units per hectare. Provisions of the By-law also require the inclusion of 'ARU ready' homes to allow for the easy conversion of certain homes within the subdivision to include up to three units. |
| 1.1.3.5 | Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions. However, where provincial targets are established through provincial plans, the provincial target shall | Settlement Areas | Kingston is not subject to a provincial plan and as such the targets established locally through the Official Plan guide intensification and redevelopment. The proposed density development exceeds minimum targets set out in the secondary plan area and maintain a density. |

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| | represent the minimum target for affected areas. | | |
| 1.1.3.6 | New development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities. | Settlement Areas | <p>The proposal constitutes infill development in an existing built-up area. The development infills an underdeveloped area just south of the Cataraqi West subdivision and north of the Princess Street corridor.</p> <p>The introduction of additional residential uses will further support commercial uses in the area and nearby transit, and can be supported by existing servicing.</p> |
| 1.4.3 | <p>Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:</p> <p>a) establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities</p> | Housing | <p>The proposed redevelopment contributes to the range of housing options and supports existing infrastructure and municipal services.</p> <p>The proposed development is within the serviced area of the City where public infrastructure exists to support the proposal.</p> <p>The resulting density will fall within the respective Low and Medium density range identified in Cataraqi West Secondary Plan within the City's Official Plan. In addition to the traditional forms of housing the proposed development includes 'ARU ready' units further adding to the mix of dwelling types and assist in housing affordability.</p> |

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| | <p>may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;</p> <p>b) permitting and facilitating:</p> <ol style="list-style-type: none"> 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and 2. all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3; <p>c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;</p> <p>d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;</p> | | <p>The development will intensify an underutilized parcel of land. It will have the benefit of utilizing existing servicing and public services within the Cataraqui West Neighbourhood.</p> <p>Kingston Transit currently provides service along the north and west side of the site and is within walking distance to Princess Street where additional transit opportunities exist.</p> <p>The subdivision includes a dedication of land to facilitate the development of a multi-use pathway which further implements the City’s Active Transportation Master Plan.</p> <p>The proposed development is compact in form and the proposed density is appropriate for the area. There are no known risks to public health and safety resulting from the proposed development.</p> |

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| | <p>e) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and</p> <p>f) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.</p> | | |
| 1.6.3 | <p>Before consideration is given to developing new infrastructure and public service facilities: a) the use of existing infrastructure and public service facilities should be optimized; and b) opportunities for adaptive re-use should be considered, wherever feasible.</p> | <p>Infrastructure and Public Service Facilities</p> | <p>The project represents the orderly development of lands within the City's Urban Boundary.</p> |
| 1.6.6.2 | <p>Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety.</p> | <p>Sewage, Water and Stormwater</p> | <p>The project compliments existing intensification within the City and is on full municipal sewage and water facilities which are being further expanded within the subdivision at the applicants expense prior to the transfer being transferred to the City. The</p> |

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| | Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services. | | planned density of this area makes economical use of this expansion. |
| 1.6.7.4 | A land use pattern, density and mix of uses should be promoted that minimize the length and number of vehicle trips and support current and future use of transit and active transportation. | Transportation Systems | <p>The proposed subdivision provides a range of housing options including homes that allow for the conversion to accommodate up to three homes through the provision of 'ARU ready' units.</p> <p>The site is connected to two transit routes and flanks a multi-use trail on both its north and south side.</p> <p>Residents of the proposed development will be able to access services along the Princess Corridor and in the Cataraqui West neighbourhood.</p> |
| 1.7.1 | Long-term economic prosperity should be supported by: a) promoting opportunities for economic development and community investment-readiness; b) encouraging residential uses to respond to dynamic market-based needs and provide necessary housing supply and range | Long-Term Economic Prosperity | <p>The proposed development will intensify an under-utilized property within the urban boundary.</p> <p>The site optimizes the long term availability of land through the development of appropriate densities which mitigate the need for further expansion of the City's infrastructure.</p> <p>The layout of the subdivision will create a sense of place through the</p> |

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| | <p>of <i>housing options</i> for a diverse workforce; c) optimizing the long-term availability and use of land, resources, <i>infrastructure</i> and <i>public service facilities</i>; d) maintaining and, where possible, enhancing the vitality and viability of downtowns and main streets; e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including <i>built heritage resources</i> and <i>cultural heritage landscapes</i>; f) promoting the redevelopment of <i>brownfield sites</i>; g) providing for an efficient, cost-effective, reliable <i>multimodal transportation system</i> that is integrated with adjacent systems and those of other jurisdictions, and is appropriate to address projected needs to support the movement of goods and people; j) promoting energy conservation and providing opportunities for increased energy supply; k) minimizing negative impacts from a changing</p> | | <p>provision of a well connected park block with additional linkages to the surrounding area. The subdivision is being developed in accordance with the Cataraqui Woods Master Plan which includes landscaping and entrance features which create a sense of place.</p> |

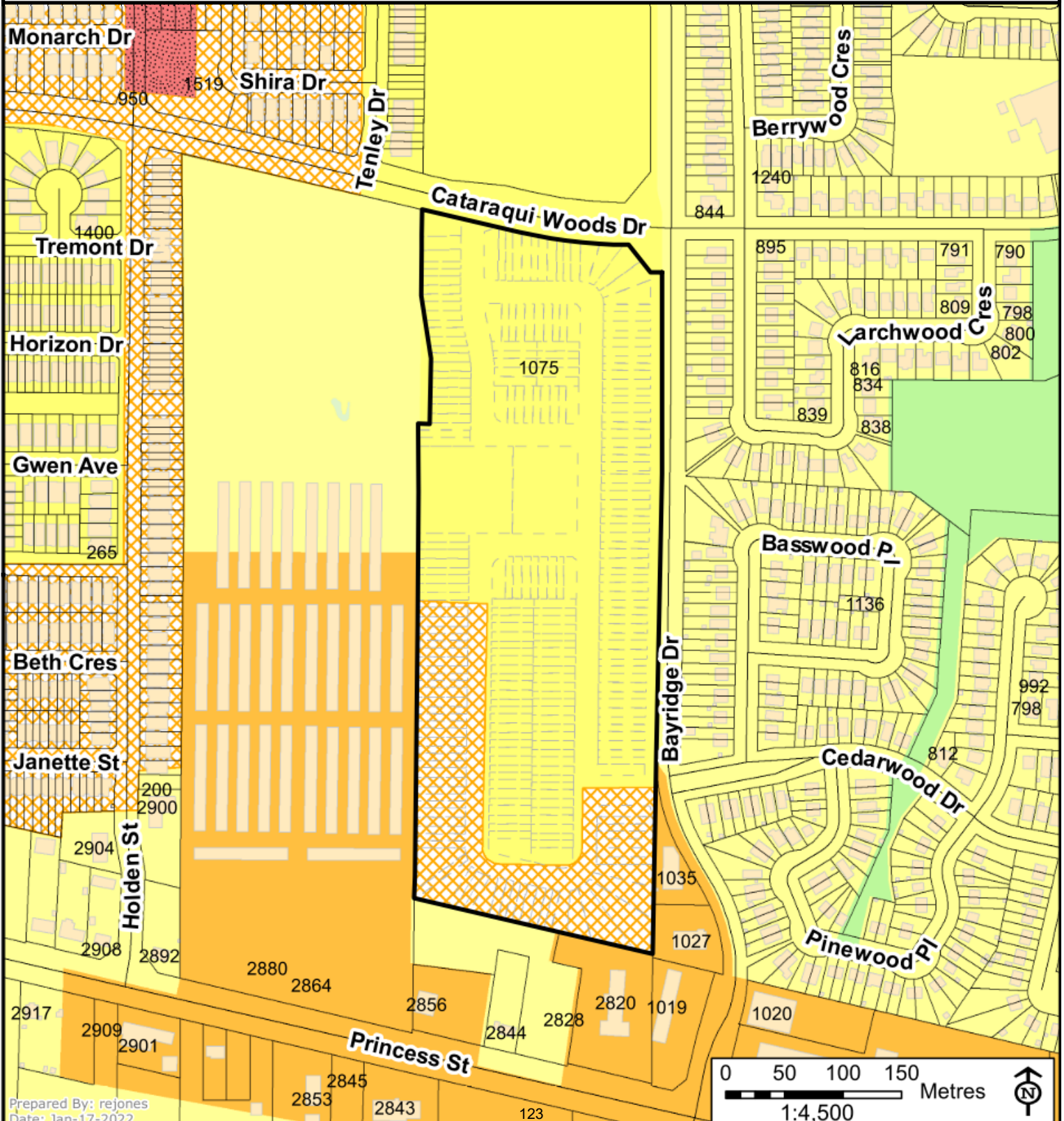
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| | <p>climate and considering the ecological benefits provided by nature; and l) encouraging efficient and coordinated communications and telecommunications infrastructure.</p> | | |
| 1.8.1 | <p>Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:</p> <ul style="list-style-type: none"> a) promote compact form and a structure of nodes and corridors; b) promote the use of active transportation and transit in and between residential, employment (including commercial and industrial) and institutional uses and other areas; c) focus major employment, commercial and other travel-intensive land uses on sites which are well served by transit where this exists or is to be developed, or designing these to facilitate the establishment of transit in the future; d) focus freight-intensive land uses to areas well | <p>Energy Conservation, Air Quality and Climate Change</p> | <p>The site provides for a compact built form consistent with the Low- and Medium Density land use designations and is located in immediate proximity to the Princess Street Corridor.</p> <p>Active transportation is supported through the provision of sidewalks and connecting paths within the subdivision which will afford pedestrian linkages. Additionally, the site flanks an multi-use pathway further facilitating active transportation.</p> <p>The site is located in proximity to multiple transit routes providing options to the automobile.</p> <p>At the time of final plan of subdivision a street tree planting program will have been fully implemented aiding the provision of vegetation and green infrastructure.</p> |

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| | <p>served by major highways, airports, rail facilities and marine facilities;</p> <p>e) encourage transit-supportive development and intensification to improve the mix of employment and housing uses to shorten commute journeys and decrease transportation congestion;</p> <p>f) promote design and orientation which maximizes energy efficiency and conservation, and considers the mitigating effects of vegetation and green infrastructure; and</p> <p>g) maximize vegetation within settlement areas, where feasible.</p> | | |
| 2.6.2 | <p>Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.</p> | Cultural Heritage and Archaeology | A Stage 1-2 Archaeological Assessment was conducted for the site. |

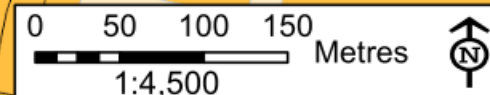


CITY OF KINGSTON
Official Plan, Existing Land Use
Address: 1075 Bayridge Dr
File Number: D35-012-2021

- Subject Lands
- DISTRICT COMMERCIAL
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- ARTERIAL COMMERCIAL
- OPEN SPACE
- RESIDENTIAL
- SECONDARY PLAN AREA



Prepared By: rejoncs
Date: Jan-17-2022



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Demonstration of How the Proposal Conforms to the Official Plan

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| 10D.1.2.a. create a safe, livable and healthy neighbourhood that has a sense of neighbourhood identity; | Secondary Plan Objectives | The subdivision has been developed with the principles of Crime Prevention Through Environmental Design (CPTED) with the park oriented to have street frontage as well as some homes which front onto this feature to help have passive observation of the public space. Street trees will be provided as a part of the final subdivision helping to make a healthy livable neighbourhood. |
| 10D.1.2.b. create a neighbourhood that has a clear and cohesive physical structure that is harmonious and integrated with the existing adjacent neighbourhood; | Secondary Plan Objectives | The road layout integrates with the abutting street network. |
| 10D.1.2.c. encourage the development of a neighbourhood centre that serves as a focus for neighbourhood activities. This may include a major park, community park, a neighbourhood centre, and educational institutions; | Secondary Plan Objectives | The subdivision includes a park block adjacent to an open space area which also serve as a storm water management pond both of which will create a central feature for the area. |
| 10D.1.2.d. proceed with development in an environmentally sound and sustainable manner; | Secondary Plan Objectives | The subdivision is proposed at a density which prevents the outward expansion of the City's urban boundary. Trees cleared from the site will be replaced through the provision of street trees. |
| 10D.1.2.e. encourage a neighbourhood development that takes advantage of the unique natural characteristics | Secondary Plan Objectives | The site makes use of the natural topography using a low |

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| and features within and adjacent to it; | | area of the site for storm water management. |
| 10D.1.2.f. encourage a variety of ground oriented housing forms and tenures which meet the needs of the population and which can respond to changes in the marketplace; | Secondary Plan Objectives | The proposed units include a mix of attached and detached homes as well as the inclusion of 49 homes which are ARU-Ready as well as eight lots which are ARU-Ready to accommodate a third ARU in a detached building further improving the mix and affordability of housing within the subdivision. |
| 10D.1.2.g. Promote innovation in housing design, architecture, and site planning to foster a welcoming, people-friendly neighbourhood; | Secondary Plan Objectives | See 10D.1.2.a. and 10D.1.2.f. |
| 10D.1.2.h. encourage the development of a neighbourhood that is based on a high standard of urban barrier-free design on both public and private lands; | Secondary Plan Objectives | The subdivision will be fully AODA compliant and includes mid-block walkways and sidewalks which will be barrier free and accessible. |
| 10D.1.2.i. preserve significant cultural heritage resources; | Secondary Plan Objectives | There are no significant cultural heritage resources associated with this site. |
| 10D.1.2.j. encourage tree preservation practices so as to enhance the existing natural environment and the aesthetics of the built environment; | Secondary Plan Objectives | As the site is required to be cleared and graded, the vegetation will be replaced with input from the City's forestry department. |
| 10D.1.2.l. provide for the recreational needs of the neighbourhood and enhance the environment; | Secondary Plan Objectives | The site includes a 1.3 hectare area which accommodates a 0.46 hectare park and a 0.83 hectare open space storm water pond which will provide for active and passive recreation space |

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| 10D.1.2.m. provide safe and integrated active transportation systems; | Secondary Plan Objectives | See 10D.1.2.b. |
| 10D.1.2.n. provide for a balanced transportation system consisting of a hierarchy of roads, transit facilities, walkways and paths to accommodate efficient movement within the neighbourhood and beyond; | Secondary Plan Objectives | Internal roads are supplemented with sidewalks, while mid-block pathways link the site to areas outside of the subdivision and transit opportunities exist along both Cataraqui Woods Drive and Bayridge Drive along which a multi-use trail exists. |
| 10D.1.2.o. encourage an urban form that is orderly, efficient and cost effective for servicing, stormwater management, transportation and public transit systems; and | Secondary Plan Objectives | See 10D.1.2.c. and 10D.1.2.n. |
| 10D.1.2.p. encourage energy conservation through appropriate and efficient subdivision design and encourage the use of new technologies and best management practices. | Secondary Plan Objectives | Homes will be provided with a rough-in for future electric vehicle charging. |
| 10D.3.2.a. variety in housing types and therefore ownership opportunities are encouraged in order to accommodate people's different and changing housing needs; | | See 10D.1.2.f. |
| 10D.3.2.b. innovation in housing design is encouraged in order to create an interesting and varied neighbourhood and where energy efficiency and barrier-free accessibility are integrated as an important element in house design; | | See 10D.1.2.f. |

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| <p>10D.3.2.c. a minimum 25 percent of the total number of dwelling units in the Cataraqui West neighbourhood must qualify as affordable housing of this Plan, and be distributed throughout the Cataraqui West neighbourhood;</p> | | See 10D.1.2.f. |
| <p>10D.3.2.d. the provision of barrier-free pathways, sidewalks and bicycle paths must be designed to facilitate pedestrian connectivity throughout the residential areas, to schools, parks, and other focal points. Where cul-de-sacs are proposed, walkways and greenways are to be incorporated to ensure active transportation connectivity;</p> | | See 10D.1.2.h. |
| <p>10D.3.2.e. variety in mix of housing types and density of development is encouraged. Densities are to be calculated on a “net area basis”. Net area is calculated as an area of one or more lots, blocks or parcels of land, the principal use of which is for residential purposes. Lands for other uses that complement basic residential uses are not included in the net area calculation;</p> | | See 10D.1.2.f. |
| <p>10.D.3.4. Within the Low Density Residential designation: a. housing permitted includes single detached and two, three and four unit dwellings; b. the overall density of development is to range from</p> | Low Density Residential | The proposed units within the Low Density Residential area consist of single- and semi-detached homes and row houses and apartments of up to four units. The Zoning requires a minimum density of 30 units per hectare while the |

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| <p>14 to 45 dwelling units per net hectare of land; c. a balanced mix of dwelling types is encouraged within the neighbourhood. In no case, however, will the proportion of three and four unit dwellings exceed 30 percent of the total units in any individual subdivision application; and d. maximum building height is three storeys.</p> | | <p>ARU Ready units contribute to a density of 33.4 homes per net hectare.</p> |
| <p>10.D.3.5. Within the Medium Density Residential designation: a. all housing types that conform to the density and building heights outlined herein are permitted; b. the overall density of development within the Medium Density Residential designation is to range from 25 to 75 dwelling units per net hectare of land irrespective of housing types; c. maximum building height is six storeys. Variation in height in a manner which is sensitive to existing and proposed housing forms on adjoining lands is encouraged; and d. buildings should be oriented to the street in order to create a prominent building presence along the street in a manner compatible with adjacent Low Density Residential areas.</p> | <p>Medium Density Residential</p> | <p>The Zoning requires a minimum density of 37.5 units per hectare while the ARU Ready units contribute to a density of 50.7 homes per net hectare and although none are currently proposed, the zoning does allow for apartment buildings subject to minimum frontage and other criteria. The maximum height is six storeys and would be compatible with the surrounding area.</p> |
| <p>10D.6.2. A minimum of three parkettes are shown conceptually on Schedule CW-1 in locations which can</p> | <p>Parkettes</p> | <p>The park block is in the general location of that identified on CW-1 and has been situated within the</p> |

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| <p>serve as local focal points for the immediate residential areas. Parkettes are intended to be:</p> <ul style="list-style-type: none"> a. approximately 0.4 hectares each; b. integrated with other neighbourhood services such as super mailboxes, neighbourhood bulletin boards, etc.; and, c. primarily park areas which may include features such as pathways, park benches and children’s play structures. | | <p>subdivision with the consultation of the City’s Parks Department and connects along the road network and a near by mid-block pathway. Final design of the park amenities will be determined at a later date.</p> |
| <p>10D.6.3. Pathways for all modes of active transportation are to be designed using universal design standards to create safe, interesting, convenient and varied environments for all residents.</p> | <p>Pathways</p> | <p>See 10D.1.2.h.</p> |
| <p>10D.6.5. As a condition of development of land for residential purposes, lands will be conveyed to the municipality for parks or other public recreational purposes in accordance with Section 3.8.14 of this Plan.</p> | <p>Parkland Dedication</p> | <p>10D.1.2.i.</p> |
| <p>2.1.1. Most growth will occur within the Urban Boundary, shown on Schedule 2, where development will be directed to achieve greater sustainability through:</p> <ul style="list-style-type: none"> a. appropriate (minimum) densities; b. land use patterns that foster transit and active transportation; | <p>Urban Areas – Focus of Growth</p> | <p>The proposed development is located within the Urban Boundary and represents an appropriate density with the inclusion of additional residential units. The development serves to build out the next phase of the Woodhaven Subdivision.</p> <p>The subdivision abuts two existing transit routes and a multi-use pathway which will</p> |

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| <p>e. direction of new development and key land uses to areas where they can best result in sustainable practices;</p> <p>g. maximized use of investments in infrastructure and public amenities;</p> <p>h. strategies that will revitalize both neighbourhoods and employment areas, and rehabilitate brownfield sites for re-use;</p> <p>k. climate positive development;</p> | | <p>help foster transit and active transportation. Commercial sites are located in proximity to the site being located on Princess Street which will be accessible by active transportation.</p> <p>The development will connect to existing City services as part of the planned servicing for this phase of the subdivision. This will help to maximize City investments.</p> <p>The proposed development also meets the Official Plan objective for climate friendly development. By developing in a medium density, compact form, the proposal will result in less land consumption and better energy efficiency when compared to other lower density built forms.</p> |
| <p>2.1.4. In reviewing development applications, the City will promote sustainability through:</p> <p>a. encouragement of green building design to reduce greenhouse gases by adopting:</p> <ul style="list-style-type: none"> • energy efficient construction; • renewable sources of energy for lighting and heating; • natural lighting; • design that reduces water consumption; • design which minimizes discharge into the sanitary sewers; and • design which reduces or eliminates discharge into the | <p>Development Review</p> | <p>The proposed development represents the buildout and intensification of lands within the Urban Boundary. As such, the proposed development will improve the efficient use of available land within the urban boundary, as well as the efficient use of existing municipal servicing capacity and transportation infrastructure and services.</p> <p>The site maintains storm water flows as demonstrated in the Storm water management report while The final plan of subdivision design will include a street tree planting plan.</p> |

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| <p>storm sewers through incorporating stormwater management practices including low impact design and stormwater re-use.</p> <p>b. design, landscaping, and streetscaping practices that promote protection from undesirable sun, wind, or other conditions and reduces the negative effects of urban summer heat;</p> <p>d. construction and operational practices that minimize waste and maximize re-use of resources;</p> <p>e. practices that conserve or recycle materials, energy, or other resources;</p> <p>f. design which promotes a reduction of automobile trips, active transportation and transit, including secured public access to bicycle storage and parking;</p> <p>i. design that reduces municipal costs associated with the provision of infrastructure and municipal service delivery over the long term;</p> <p>k. development that suits the demographic and/or socio-economic needs of the community.</p> | | |
| <p>2.2.4. The Urban Boundary shown by the dashed line on Schedule 2 has been established to recognize the substantially built up areas of the City where major sewer, water and transportation infrastructure has been planned. The land within the</p> | <p>Urban Boundary</p> | <p>See Section 2.1.1.</p> |

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| <p>Urban Boundary will be the focus of growth and development in the City and contains sufficient land to accommodate the projected growth for a planning horizon of 2036. The Area Specific Phasing area within the Urban Boundary is subject to site-specific urban growth management policies. The Special Planning Area sites are also within the Urban Boundary and are now committed to a substantial land use but could accommodate future growth.</p> | | |
| <p>2.3.1. The focus of the City’s growth will be within the Urban Boundary, shown on Schedule 2, where adequate urban services exist, or can be more efficiently extended in an orderly and phased manner, as established by this Plan. Kingston’s Water Master Plan and Sewer Master Plan will guide the implementation of the infrastructure planning.</p> | <p>Growth Focus</p> | <p>See Section 2.1.1.</p> |
| <p>2.3.11. In order to implement the Strategic Direction of the Kingston Transportation Master Plan, active transportation will be aggressively promoted with greater emphasis on pedestrians, cyclists and transit, and accessibility for all residents and visitors.</p> | <p>Transportation</p> | <p>The site will have the benefit of internal sidewalks to support active transportation as well as mid-block walkway linkages to connect to the surrounding areas. The site provides a park block for recreational purposes together with a storm water pond block which will provide additional opportunity for outdoor amenity.</p> <p>The site abuts two transit routes.</p> |

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| <p>2.4.1. The City supports sustainable development of a compact, efficient, urban area with a mix of land uses and residential unit densities that optimize the efficient use of land in order to:</p> <ul style="list-style-type: none"> a. reduce infrastructure and public facility costs; b. reduce energy consumption and greenhouse gas emissions; c. support active transportation and viable public transit; d. conserve agriculture and natural resources within the City; and e. reduce reliance on private vehicles. | <p>Phasing of Growth - Vision</p> | <p>See Section 2.1.1.</p> |
| <p>2.4.2. It is the intent of this Plan to be consistent with the policies of the Provincial Policy Statement (PPS). The PPS supports residential intensification, infill development, and an appropriate range of housing types and densities needed to meet the projected requirements of current and future residents. It is the intent of the City to maintain, at all times, the ability to accommodate residential growth for a minimum of 10 years with lands that are designated and available for residential development. It is also the intent of this Plan to maintain lands with servicing capacity to provide at least a three year supply of residential units available</p> | <p>Strategic Policy Direction – Phasing of Growth – Provincial Policy Statement</p> | <p>A review of the development proposal concludes that it is in conformity with the Provincial Policy Statement. For a detailed examination of the applicable policies, please see Exhibit F.</p> |

| Policy | Category | Conformity with the Policy |
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| <p>through lands suitably zoned and lands that are draft-approved or registered plans of subdivision. This Plan will ensure sufficient land is made available to accommodate an appropriate range and mix of land uses to meet projected need for a time horizon of up to 20 years.</p> | | |
| <p>2.4.3. It is the intent of this Plan to achieve an increase in the City’s net urban residential densities through promoting intensification and requiring minimum densities for residential development.</p> | Residential Density | See Section 2.3.2. |
| <p>2.4.4. New residential development and new secondary plans are subject to the following policies and minimum densities: a. for large-scale developments and greenfield areas, a minimum of 37.5 residential units per net hectare is established for new residential development in order to be transit supportive;</p> | Intensification | The proposed density of the site will be minimum of either 33.4 or 50.7 units per net hectare, depending on location, given the more detailed policies regarding density set out in the Secondary Plan. The site is currently serviced with existing transit routes ensuring that the densities provided will be transit supportive. |
| <p>2.4.5. The City has established the following minimum targets for intensification to occur within the Urban Boundary. a. It is the intent of the City that 40 percent (%) of new residential development occur through intensification.</p> | Intensification Targets | <p>The subject property is located within the urban boundary and has available servicing.</p> <p>The inclusion of ARU Ready units will help affordable housing options.</p> <p>See Section 2.3.2.</p> |
| <p>2.4.6. Urban development within the City will proceed in a planned and orderly manner. The Order of</p> | Order of Development – Urban Boundary | <p>The subject site is located within the urban boundary.</p> <p>See Section 2.1.1.</p> |

| Policy | Category | Conformity with the Policy |
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| <p>Development will be as follows: a. lands located within the Urban Boundary that have servicing capacity currently in place, including infill opportunities, brownfield sites and other vacant or under-utilized properties have the first priority for development;</p> | | |
| <p>2.5.8. Where intensification is encouraged, increased densities will only be approved when it has been determined by the City that servicing capacity exists or that capacity expansions are imminent to accommodate additional development.</p> | <p>Servicing Capacity</p> | <p>The proposal was circulated to all relevant departments and agencies and it was confirmed that there is sufficient service capacity to accommodate the proposed development.</p> |
| <p>2.5.10. In order to foster sustainability within the City and reduce reliance on the automobile, the City will make efficient use of the existing infrastructure and provide the facilities and services to encourage active transportation and transit as priority modes before providing new road infrastructure in order to satisfy travel demand. While the automobile will continue to be the primary mode of transportation in the City, other, more active forms of transportation will be aggressively promoted to maximize existing road capacity and improve environmental conditions</p> | <p>Strategic Direction to Promote Active Transportation</p> | <p>See Section 2.3.11. The road network was contemplated through the Cataraqui West Master Plan which was implemented through the Cataraqui West Secondary Plan in the City's Official Plan. The internal roads will be constructed at the applicants expense and dedicated to the City at the time of Final Plan Approval.</p> |

| Policy | Category | Conformity with the Policy |
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| <p>2.5.11. The use of transit will be supported and encouraged through the development of mixed-use areas and mixed-use buildings, the development of Corridors and more intense mixed-use Centres, and through the increase of densities within newer areas, compatible uses and infill with complementary uses, and appropriate development of underutilized and brownfield sites.</p> | <p>Transit Priority</p> | <p>The site is serviced with existing nearby transit opportunities.</p> |
| <p>2.6.3. Stable areas will be protected from development that is not intended by this Plan and is not compatible with built heritage resources or with the prevailing pattern of development in terms of density, activity level, built form or type of use. The following types of intensification are generally considered appropriate within stable areas:</p> <ul style="list-style-type: none"> a. infill development that is limited and designed to complement the area’s existing built form, architectural and streetscape character, and level of activity; d. intensification that requires a zoning by-law amendment or minor variance in support of factors that may affect the intensity of use (e.g., density, building height, reduction in parking and/or amenity areas, etc.) provided it can be demonstrated that the proposal will: | <p>Stable Areas</p> | <p>The subdivision is intended to create a stable area and will not impact abutting stable areas.</p> |

| Policy | Category | Conformity with the Policy |
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| <ul style="list-style-type: none"> • complement existing uses in the area; • support a transition in density and built form; • support active transportation and public transit; and • be compatible with existing development taking into account the policies of Section 2.7 of this Plan. | | |
| <p>2.7.1. Development and/or land use change must demonstrate that the resultant form, function and use of land are compatible with surrounding land uses.</p> | Compatible Development and Land Use Change | See Section 2.7.3. |
| <p>2.7.2. The demonstration of compatible development and land use change must consider the potential for adverse effects and matters that have the potential to negatively impact the character, planned function and/or ecological integrity of an area, and the health and safety of humans. Where there exists a potential for negative impacts, a land use compatibility study, focused specifically on the identified land use compatibility matters, will be required.</p> | Compatible Development and Land Use Change | See Section 2.7.3. |
| <p>2.7.3. The land use compatibility matters to be considered under Section 2.7.2 include, but are not limited to:</p> <ul style="list-style-type: none"> a. shadowing; b. loss of privacy due to intrusive overlook; | Land Use Compatibility Matters | The subdivision is consistent with the surrounding area and will not pose any land use compatibility issues. Bayridge Drive and Cataraqui Woods Drive are Collector and Arterial streets respectively and are planned to accommodate the City's future growth in this area. The applicant submitted |

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| <p>c. increased levels of light pollution, noise, odour, dust or vibration;</p> <p>e. increased level of traffic that can disrupt the intended function or amenity of a use or area or cause a decrease in the functionality of active transportation or transit;</p> <p>f. environmental damage or degradation;</p> <p>g. diminished service levels because social or physical infrastructure necessary to support a use or area are overloaded;</p> <p>h. reduction in the ability to enjoy a property, or the normal amenity associated with it, including safety and access, outdoor areas, heritage or setting;</p> <p>i. visual intrusion that disrupts the streetscape or buildings;</p> <p>j. degradation of cultural heritage resources;</p> <p>k. architectural incompatibility in terms of scale, style, massing and colour;</p> | | <p>a Traffic Impact Study confirming the adequacy of the road network to accommodate the proposed development.</p> |
| <p>2.7.4. Mitigation measures may be used to achieve development and land use compatibility. Such measures may include one or more of the following:</p> <p>a. ensuring adequate setbacks and minimum yard requirements;</p> <p>b. establishing appropriate transition in building heights, coverage, and massing;</p> <p>d. designing the building in a way that minimizes adverse effects;</p> | <p>Mitigation Measures</p> | <p>The subdivision proposes fencing to mitigate against noise from the surrounding area.</p> |

| Policy | Category | Conformity with the Policy |
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| <p>e. maintaining mature vegetation and/or additional new landscaping requirements;</p> <p>f. controlling access locations, driveways, service areas and activity areas; and,</p> <p>g. regulating location, treatment and size of accessory uses and structures, lighting, parking areas, garbage storage facilities and signage.</p> | | |
| <p>2.7.6. Only development proposals that meet the long-term needs of the intended users or occupants will be supported. Proponents, whether developing individual buildings on a single site, or multiple buildings being built at one time or phased over time, will be required to demonstrate to the satisfaction of the City that the functional needs of the occupants or users will be met by providing:</p> <p>a. suitable scale, massing and density in relation to existing built fabric;</p> <p>b. appropriate landscaping that meets or improves the characteristic green space amenity of the site and surroundings and enhances the City's tree planting program;</p> <p>c. adequate land area and appropriate site configuration or provision for land assembly, as required;</p> <p>d. efficient use of municipal services, including transit;</p> | <p>Functional Needs</p> | <p>The area is predominantly made up of ground-oriented residential uses including single detached dwellings, townhouses, and semi-detached dwellings. The proposed development is consistent with the surrounding area in terms of architectural design and massing. The design of the subdivision is compact but will enable space for private and public amenity areas as well as landscaping.</p> <p>Street trees will be provided through the subdivision process.</p> <p>The development is appropriate in terms of land area and would not be considered over-development.</p> <p>An additional transit stop is proposed near to the subject lands for which the developer will be responsible for providing infrastructure to support. The additional development proposed for the site will help transit ridership.</p> |

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| <p>e. appropriate infill of vacant or under-utilized land; and, f. clearly defined and safe: site access; pedestrian access to the building and parking spaces; amenity areas; building entry; and parking and secure and appropriate bicycle facilities.</p> | | <p>The subject site is an underdeveloped site and the proposal is an appropriate level of infill for the character of the area.</p> <p>The development includes internal sidewalks throughout the site. Amenity areas beyond the private amenity areas associated with each lot can be found at the park and the open space storm water management pond.</p> |
| <p>2.10.1. In order to improve the resiliency and ensure the long-term prosperity of the community the City intends to: b. consider the potential impacts of climate change and extreme weather events when planning for infrastructure, including green infrastructure, and assessing new development;</p> | Resiliency | <p>The site contains a sufficient amount of landscaped open space. A stormwater management area is included in the site where storm flows will be directed. The stormwater report has been reviewed and approved through staff technical review.</p> |
| <p>3.3.7. Within existing stable residential areas, applications for infill must be located and organized to fit with neighbouring properties, including cultural heritage resources, and must satisfactorily address the following criteria: a. confirmation that adequate municipal services can be provided; b. demonstrated suitability of dwelling type, lot size, building height and massing, building materials, and exterior design; and c. demonstrated ability to achieve compatible use and</p> | Infill | <p>See Section 2.5.8 See Section 2.7.4 See Section 2.7.3</p> |

| Policy | Category | Conformity with the Policy |
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| development of the property taking into account the policies of Section 2.7. | | |
| 3.3.8 Within the urban boundary, intensification through moderate increases in building height or density, and gradual transition to more intense forms of housing may be approved at the edge of neighbourhoods, adjacent to transit routes, community facilities, significant areas of open space or adjacent to mixed-use Centres and Corridors. | Intensification | See Section 2.1.1 |
| 3.8.13. In accordance with the Planning Act and the policies of this Plan, the City requires as a condition of development, a land dedication to be conveyed to the municipality for park or other public recreational purposes. This can amount to up to 2 percent of the total land area in the case of land proposed for industrial or commercial development, and an amount of up to 5 percent in the case of land proposed for residential development. These provisions apply unless an alternative cash-in-lieu contribution is approved by the City, or a higher dedication is required for more intensive residential development, as required under Section 3.8.15. | Parkland Dedication | The subdivision proposes a park block to account for the parkland requirements. Any additional parkland required as a result of further increases in density would be addressed through cash-in-lieu. |
| 3.8.16. The City may request cash-in-lieu for all or part of any required land dedication | Cash-in-lieu | See Section 3.8.13. |

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| <p>under the Planning Act under the following circumstances:</p> <ul style="list-style-type: none"> a. where the parcel of land is either too small or poorly located to meet parkland needs; b. in an area that has excess parklands; c. where the condition of the land is unsuitable for park purposes; d. where no opportunity exists to enlarge existing neighbourhood parks; e. where there is no opportunity to obtain useful waterfront land; f. where a large development project is within reasonable walking distance to an existing park, provided that the trip does not involve crossing an arterial road; and, g. where the provision of cash-in-lieu from a large project would not result in an overload to the existing park(s) | | |
| <p>4.1.1. New development will proceed only if the City is satisfied that adequate services, roads, and utilities are available, or can be made available, to serve the proposal adequately. In determining the adequacy of servicing, utility systems, or the transportation system, the City will consider not only the proposal, but also the potential for development that exists in the same service area.</p> | <p>Infrastructure & Transportation – New Development</p> | <p>See Section 2.5.8.</p> <p>A Traffic Impact Study has been prepared and reviewed by City staff. No negative traffic impacts are anticipated to occur from the increased number of vehicular trips from the subject property.</p> |

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| <p>4.3.4. For urban infill development projects, the City will require the preparation of a stormwater management report to address the impacts of additional lot coverage or new uses of the site on the quality and quantity of water. Proponents must endeavour to improve the management of stormwater from the existing development areas.</p> | <p>Stormwater Management – Quality and Quantity of Water</p> | <p>The applicant submitted a stormwater management plan which was subject to review and accepted by the Stormwater Management Review department at the City.</p> |
| <p>4.6.1. As described in Section 2.5.11 of this Plan, the City intends to foster sustainability within the community and to reduce reliance on the automobile by satisfying travel demand through the efficient use of the existing infrastructure, and by providing the facilities and services to encourage walking, cycling and transit as priority universally accessed modes of travel, before expanding the City’s road infrastructure.</p> | <p>Transportation – Strategic Direction</p> | <p>See Section 2.3.11.</p> |
| <p>4.6.10. Improving connections between active transportation and transit will be required through such means as improved pedestrian amenities, connected on and off street cycling routes, bicycle storage, improved transit routing and amenities, and such site plan control matters as locating building entrances near sidewalks and transit stops, and providing weather protection for people</p> | <p>Active Transportation and Transit – Intermodal Improvements</p> | <p>There are sidewalks along both Cataraqui Woods Drive and Bayridge Drive as well as a multi-use pathway while the subdivision also includes sidewalks interior to the site.</p> |

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| using all modes of travel including transit users. | | |
| 4.6.28. The City will augment its program of landscaping and street tree planting and replacement in many parts of the City to enhance the streetscape, particularly within the Urban Boundary. | Street Landscaping | Street tree planting plans will be required through the final plan of subdivision application. |
| 4.6.38. Specific means of encouraging transit use include, but are not limited to: a. the careful location, design and site planning of high intensity uses; | Transit Service | The additional infill of the site will potentially help to increase the ridership of the proposed transit line in the near proximity to the site. |
| 4.6.47. It is the intention of this Plan to encourage a balance between providing sufficient parking to address existing or future requirements, and not oversupplying parking to the detriment of public transit usage or active transportation. | Parking | Parking in accordance with the Zoning By-law is provided on site. |
| 4.6.48. Parking areas will be provided for any land use in the City as specified by the zoning by-law. Special provisions to accommodate those with disabilities will be provided in all zones. | Parking | Accessible parking will be provided on the individual driveways as necessary. |
| 4.6.61. The zoning by-law will be used to regulate the supply of accessible parking as required by provincial legislation. The location of accessible parking spaces shall provide enhanced accessibility through a consideration of factors including, but not limited to, | Accessible Parking | There are no dedicated accessible parking spaces within the proposed development which is consistent with other ground-oriented developments in Kingston that have the benefit of a driveway. |

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| <p>the distance between parking spaces and accessible building entrances, security of the parking area, lighting of the area, protection from the weather, and ease of maintenance.</p> | | |
| <p>5.21. The City of Kingston recognizes the importance of noise management. Any proposed development that has a sensitive use within the potential influence area as described in the Province’s D-6 Guideline or between the 25 to 30 NEF contours requires a detailed noise study to the satisfaction of the City. The study must be conducted by a qualified person in accordance with Ministry of the Environment and Climate Change guidelines or any such further guidance or requirement implemented by the City, as applicable, address all sources of noise affecting the site, and include recommendations for mitigation to meet the applicable noise criteria.</p> | <p>Noise Study</p> | <p>A noise study was submitted with the application and deemed acceptable by the City Engineering Department.</p> |
| <p>6.2.2. The City promotes landscaping and tree planting programs that help to moderate summer and winter micro-climatic conditions.</p> | <p>Energy Conservation and Production - General</p> | <p>See Section 4.6.28.</p> |
| <p>6.2.13. The City promotes intensification based on principles of minimizing energy consumption through attention to building design and the design and installation of infrastructure,</p> | <p>General</p> | <p>See Section 2.1.1.</p> |

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| and densities that support active transportation and transit. | | |
| <p>8.3. The Design Guidelines for Residential Lots establish the following guiding principles that should be used to ensure new residential development is integrated into the existing built fabric, and is conducive to active transportation:</p> <ul style="list-style-type: none"> a. protect and preserve stable residential communities (in accordance with Section 2.6 of this Plan); b. foster developments that are context appropriate; c. foster attractive developments which add to the existing sense of place; d. provide a variety of housing types; | <p>Urban Design – Guiding Principles for Development of Residential Lots</p> | <p>See Section 2.6.3. and 10.D.3.4.</p> <p>The development is attractively designed and the buildings have a variety of exteriors for visual interest.</p> |
| <p>8.4. Through the review of development proposals, construction of public works, or the preparation and approval of area plans, the City will promote the provision of barrier-free access and safety by:</p> <ul style="list-style-type: none"> a. providing for age-friendly needs and the requirements of people with disabilities, and others requiring access supports through improved amenities such as parking, benches, and washrooms, clear signage, visual or auditory indicators, and other means as appropriate; c. clearly defining building entrances and avoiding designs that would create | <p>Accessibility and Safety</p> | <p>The development is for ground-oriented residential uses. The sidewalk throughout the site are 1.2 metres in width which meets AODA standards. Additional accessibility design features will be reviewed through the Final Plan of Subdivision.</p> <p>Building entrances are clearly defined through garages and front doors.</p> <p>Adequate walkway widths are provided throughout the site.</p> <p>The internal streetscape is compact, which provides a sense of security and surveillance.</p> |

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| <p>areas that are hidden from public view and thus potentially available for criminal activity;</p> <p>e. providing adequate walkway widths, visually permeable materials and structures, and landscaping elements that do not obstruct sightlines in the design of streetscapes, transportation facilities, or public buildings and places;</p> <p>f. promoting safe environments by applying Crime Prevention Through Environmental Design (CPTED) concepts and principles in the design of buildings, site layout and landscaping of development sites.</p> | | <p>See also 10D.1.2.a.</p> |
| <p>8.6. The City requires the design of new development to be visually compatible with surrounding neighbourhoods and areas of cultural heritage value or interest through its site plan control review, preparation of zoning standards, and urban design guidelines, as appropriate, that address the following:</p> <p>a. siting, scale and design of new development in relation to the characteristics of the surrounding neighbourhood or the significant cultural heritage resources including, scale, massing, setbacks, access, landscaped treatment, building materials,</p> | <p>New Development</p> | <p>The design of the development is consistent with surround ground-oriented residential uses. The massing, scale, setbacks, etc. are compatible with the development of surrounding lands. Additional design elements will be considered through the final plan of subdivision and condominium.</p> <p>The site does not contain any significant natural or cultural heritage features.</p> |

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| <p>exterior design elements or features; b. protecting natural heritage features and areas and cultural heritage landscapes through the siting, design and review of new development;</p> | | |
| <p>9.5.9. When considering an application to amend the zoning by-law, the Planning Committee and Council will have regard to such matters as: a. conformity of the proposal with the intent of the Official Plan policies and schedules; b. compatibility of the proposal with existing uses and zones, sensitive uses, the natural heritage system, cultural heritage resources, and compatibility with future planned uses in accordance with this Plan; c. compatibility of proposed buildings or structures with existing buildings and structures, with zoning standards of adjacent sites, with any future planned standards as provided in this Plan, and with any urban design guidelines adopted by the City for the area; d. the extent to which the proposal is warranted in this location and the extent to which areas zoned for the proposed use are available for development; e. the suitability of the site for the proposal, including its ability to meet all required</p> | <p>Planning Committee / Council Considerations</p> | <p>The proposal is for the creation of 226 homes in a variety of formats which include ARU Ready homes which are located within the Urban Boundary in the Residential Designation. The proposal conforms to the intent of the Official Plan.</p> <p>The proposed development is compatible with the ground-oriented built form in the surrounding area.</p> <p>The proposed development is compatible with adjacent sites. Surrounding lands are zoned and designated a mix of residential, and arterial commercial. The development is compatible with the land uses within the Cataraqui West Secondary Plan Area.</p> <p>The site is currently underutilized and zoned for residential development. The Official Plan designation for the site is for residential use.</p> <p>The subdivision as a whole will accommodate the necessary amount of parking, landscaped open space, and amenity area.</p> <p>The proposal is represents an appropriate density for the Cataraqui West Secondary</p> |

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| <p>standards of loading, parking, open space or amenity areas;</p> <p>f. the suitability of the density relative to the neighbourhood and/or district, in terms of units per hectare, bedrooms per hectare, floor space index, and/or employees per hectare, as applicable;</p> <p>g. the impact on municipal infrastructure, services and traffic;</p> <p>h. comments and submissions of staff, agencies and the public; and,</p> <p>i. the degree to which the proposal creates a precedent.</p> | | <p>Plan Low and Medium Density areas.</p> <p>The development will utilize existing infrastructure and services and will not cause a disruption to local traffic as outlined in the submitted Traffic Impact Report.</p> <p>The proposal has been adjusted based on commentary from City staff, external agencies, and the public. The impact of public commentary on the development is outlined in the report.</p> <p>The development will not create a precedent given that the site is designated for residential use.</p> |
| <p>9.6.4. Plans of subdivision must conform to the policies of this Plan, and to the Provincial Policy Statement, as amended, and other requirements of senior levels of government. Council must be satisfied that:</p> <p>a. the proposed subdivision can be adequately supplied with municipal infrastructure and services in an economic manner if located within the Urban Boundary, or if located outside any settlement areas, the proposal is adequately supplied with individual on-site water and sewage services;</p> <p>b. the proposed subdivision has been designed to integrate compatibly with transit and the broader</p> | <p>Land Division</p> | <p>The development is located within the urban boundary and will have adequate access to Municipal infrastructure and services.</p> <p>Has access to transit opportunities and a multi-use pathway.</p> <p>The development will not negatively impact any natural heritage features and natural hazards will be avoided. The applicant has worked with City and CRCA staff to ensure water quality protection.</p> <p>The development addresses issues of energy conservation and sustainability by developing a compact built form preventing further</p> |

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| <p>transportation system, adjacent existing and planned land uses, and both the natural heritage system, and cultural heritage resources;</p> <p>c. the plan of subdivision has been designed so there are no negative impacts on the natural heritage features or areas and designed to avoid natural and human-made hazards;</p> <p>d. the proposed development addresses issues of energy conservation and sustainability;</p> | | <p>outward expansion of the Urban Boundary.</p> |

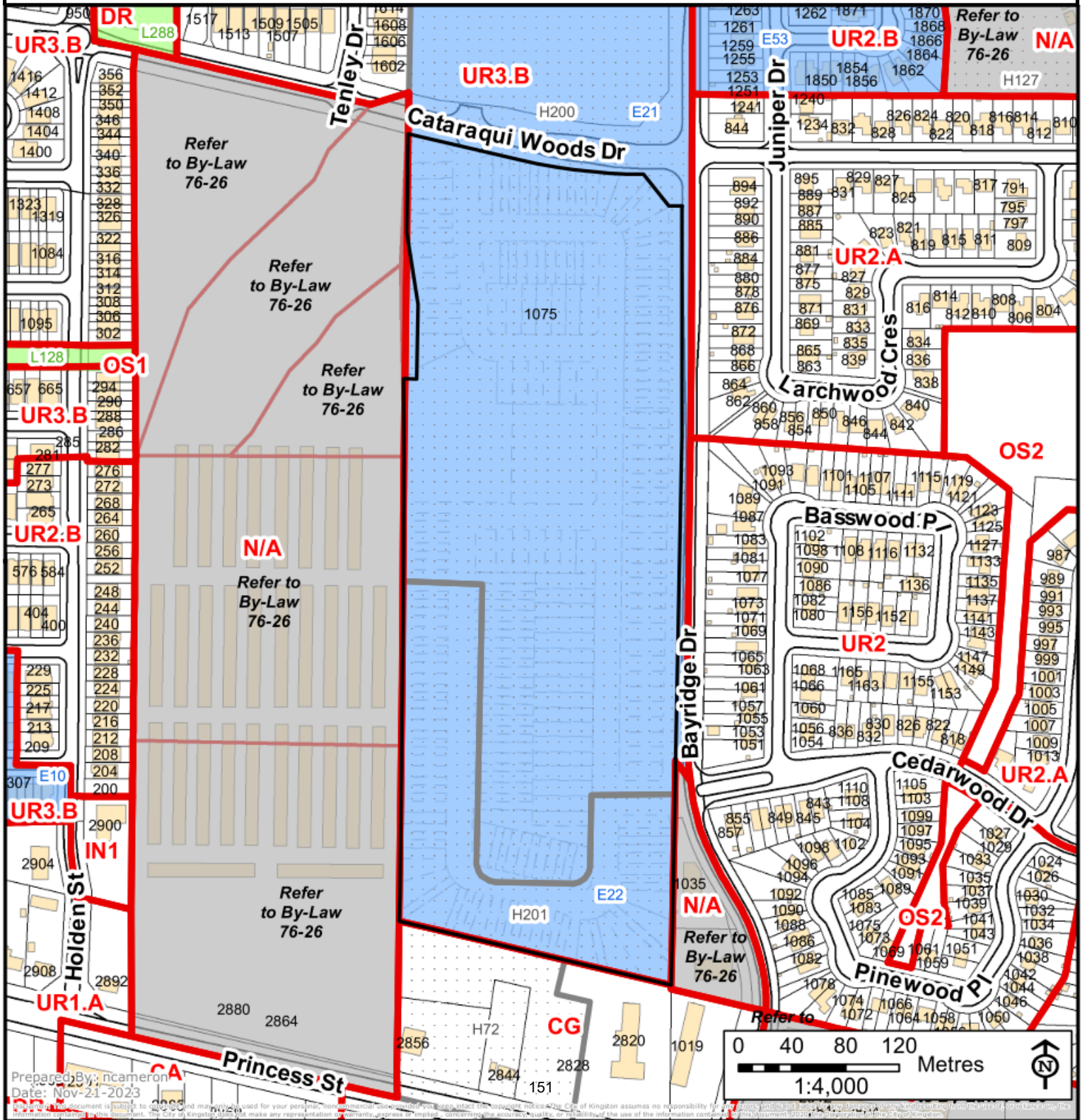


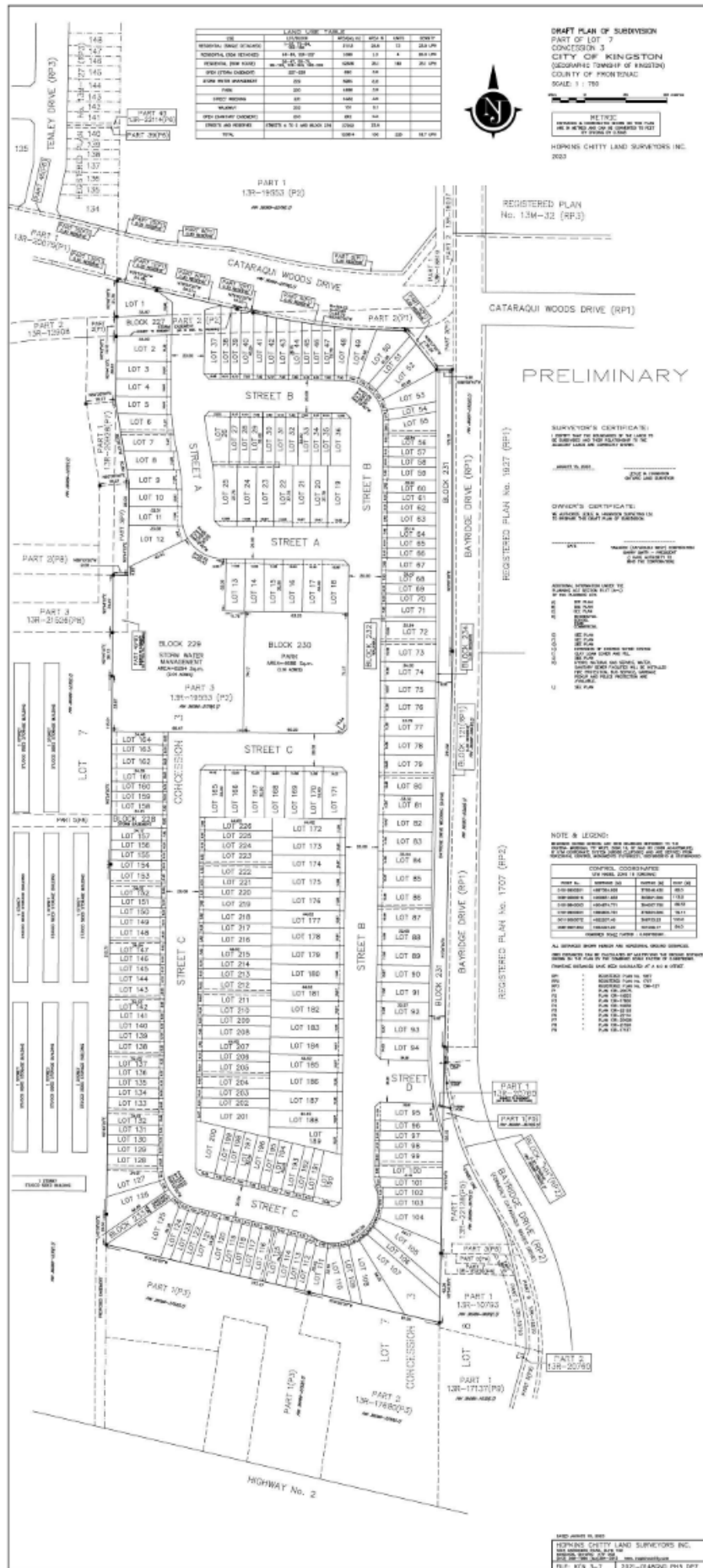
Planning Committee
Existing Zoning
Kingston Zoning By-Law 2022-62

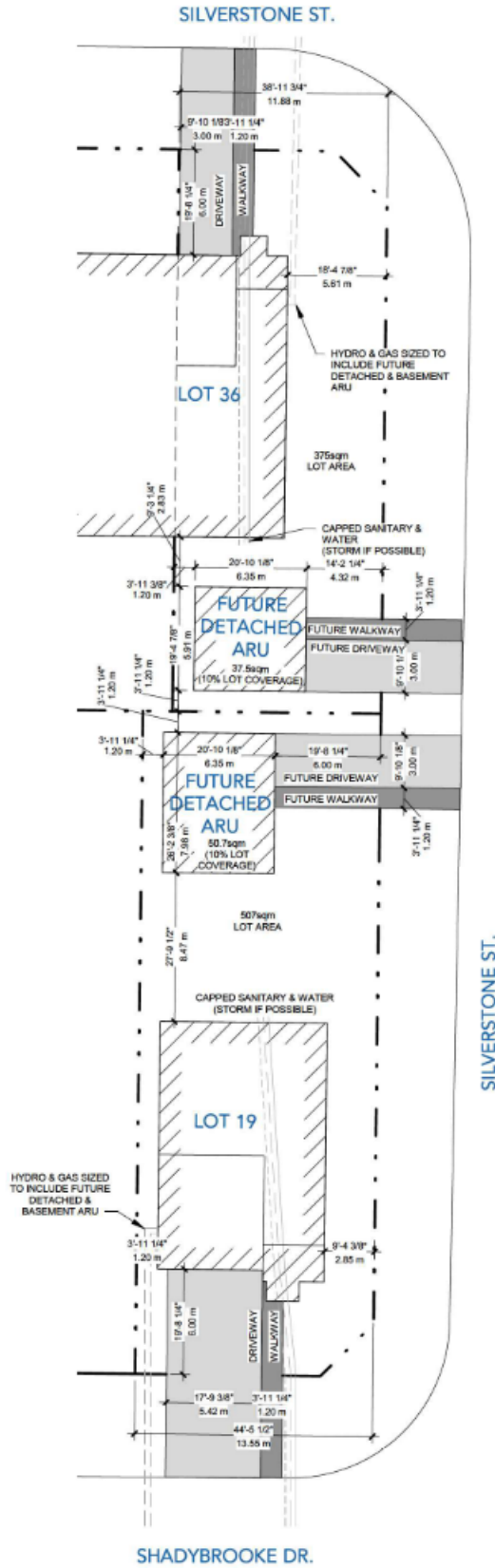
Planning Services

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File Number: D35-012-2021

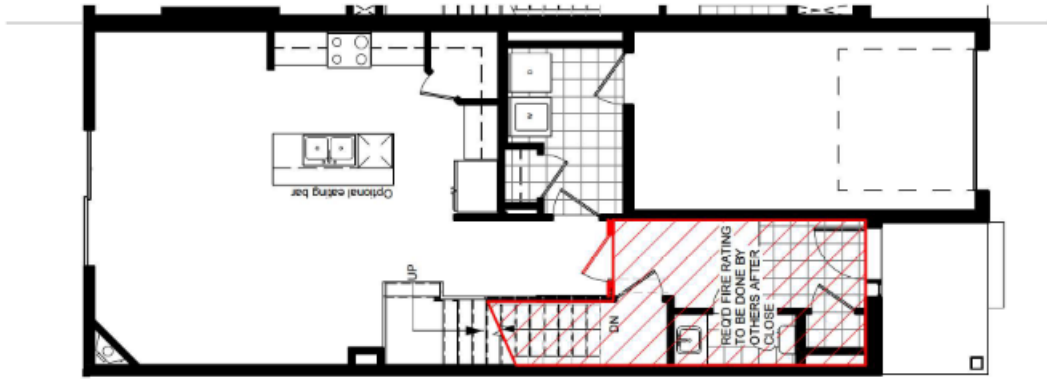
- Subject Lands
- Schedule 1 Zoning Map
- Zone
- Not Subject to the Kingston Zoning By-law
- Schedule E - Exception Overlay
- Legacy Exceptions (LXXX)
- Exceptions (EXXX)
- Schedule F - Holding Overlay
- Holding Overlay (HXXX)



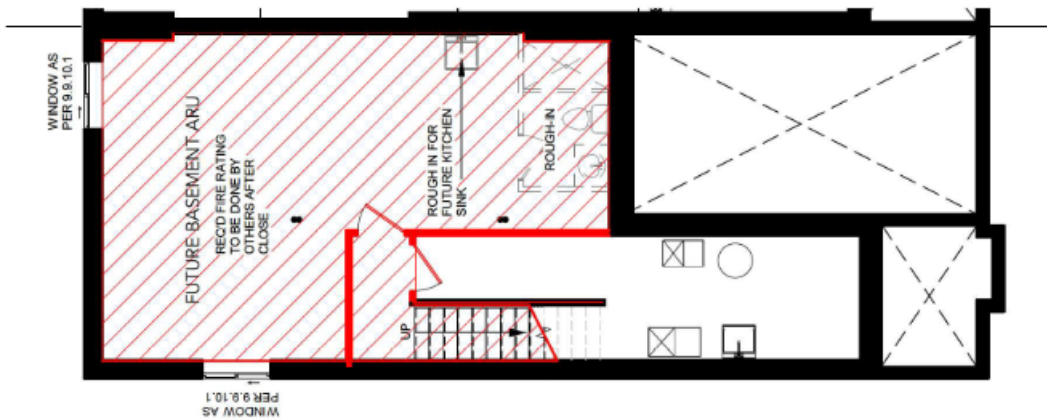




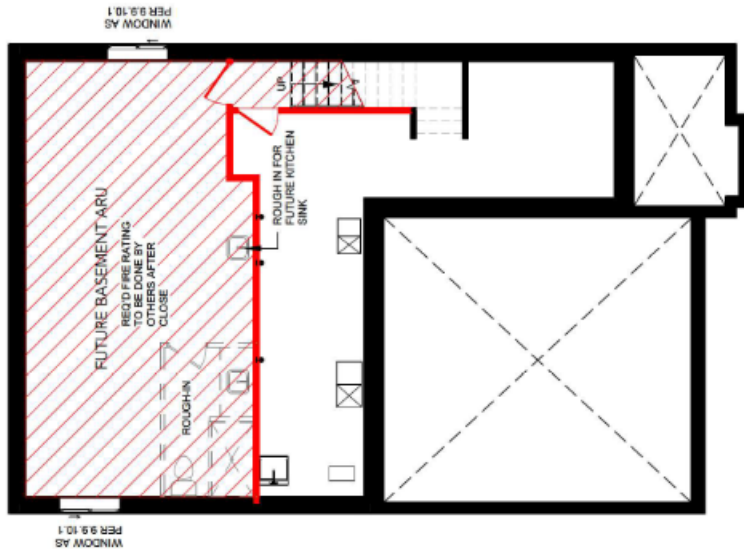
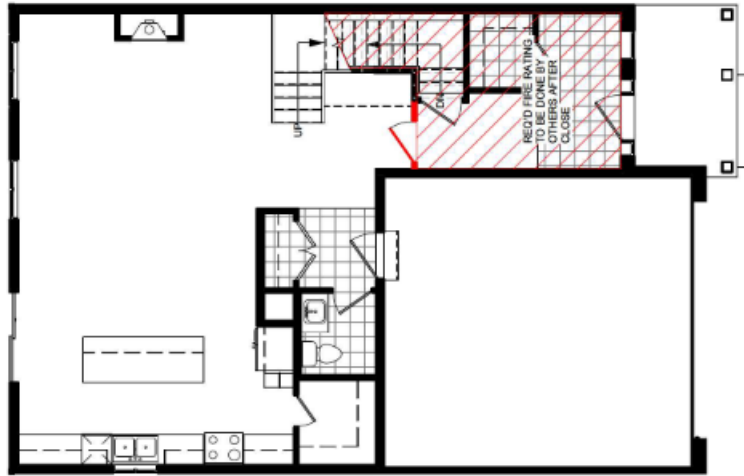
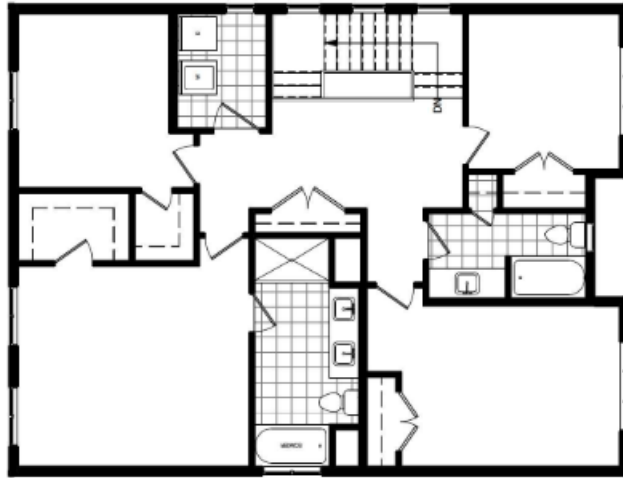
*Note - All dimensions approximate
Renderings, plans, specifications and stated dimensions are subject to change without notice at the discretion of the Vendor, E & OE. Actual usable floor space may vary from the stated floor area

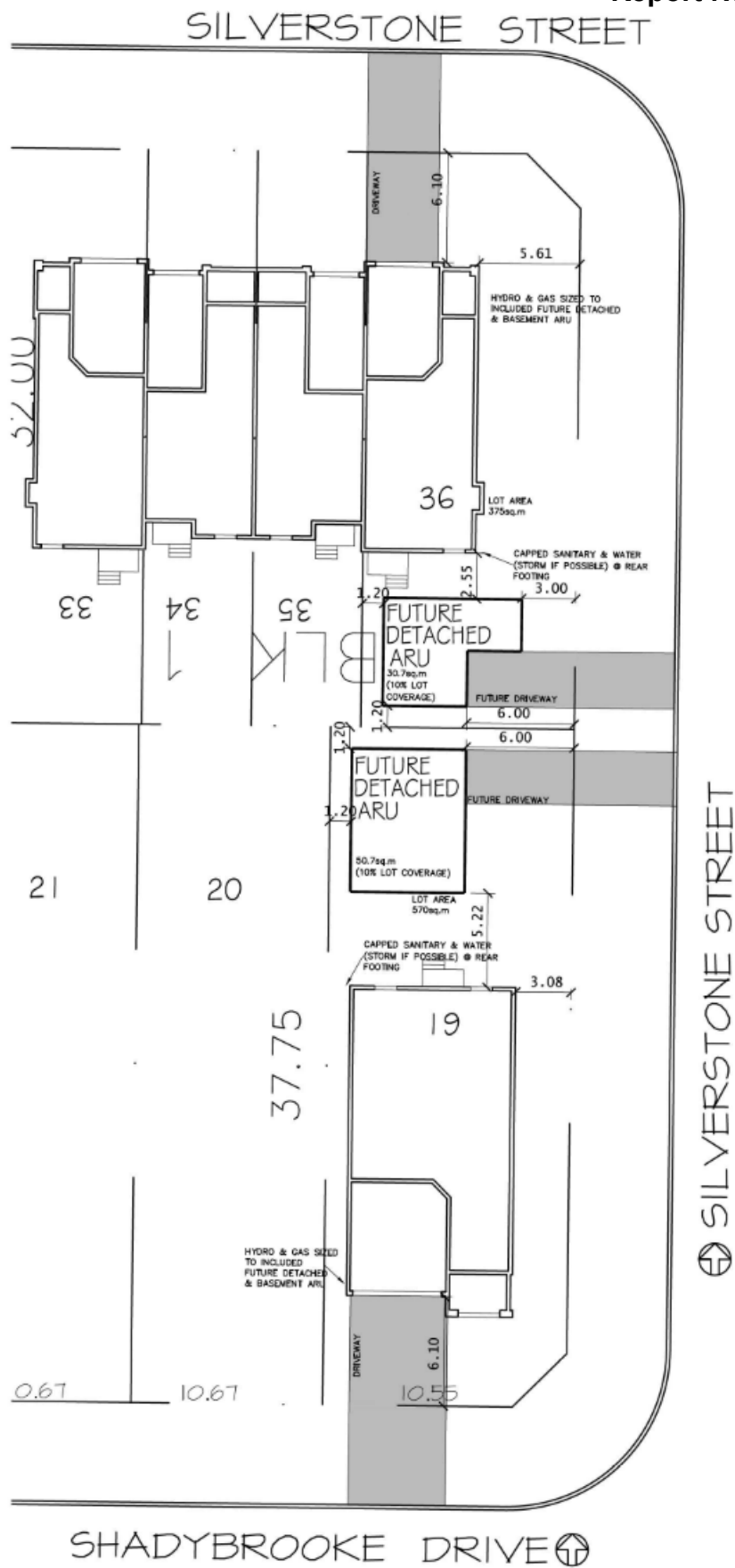


RED LINE WORK TO BE DONE BY OTHERS AFTER CLOSE

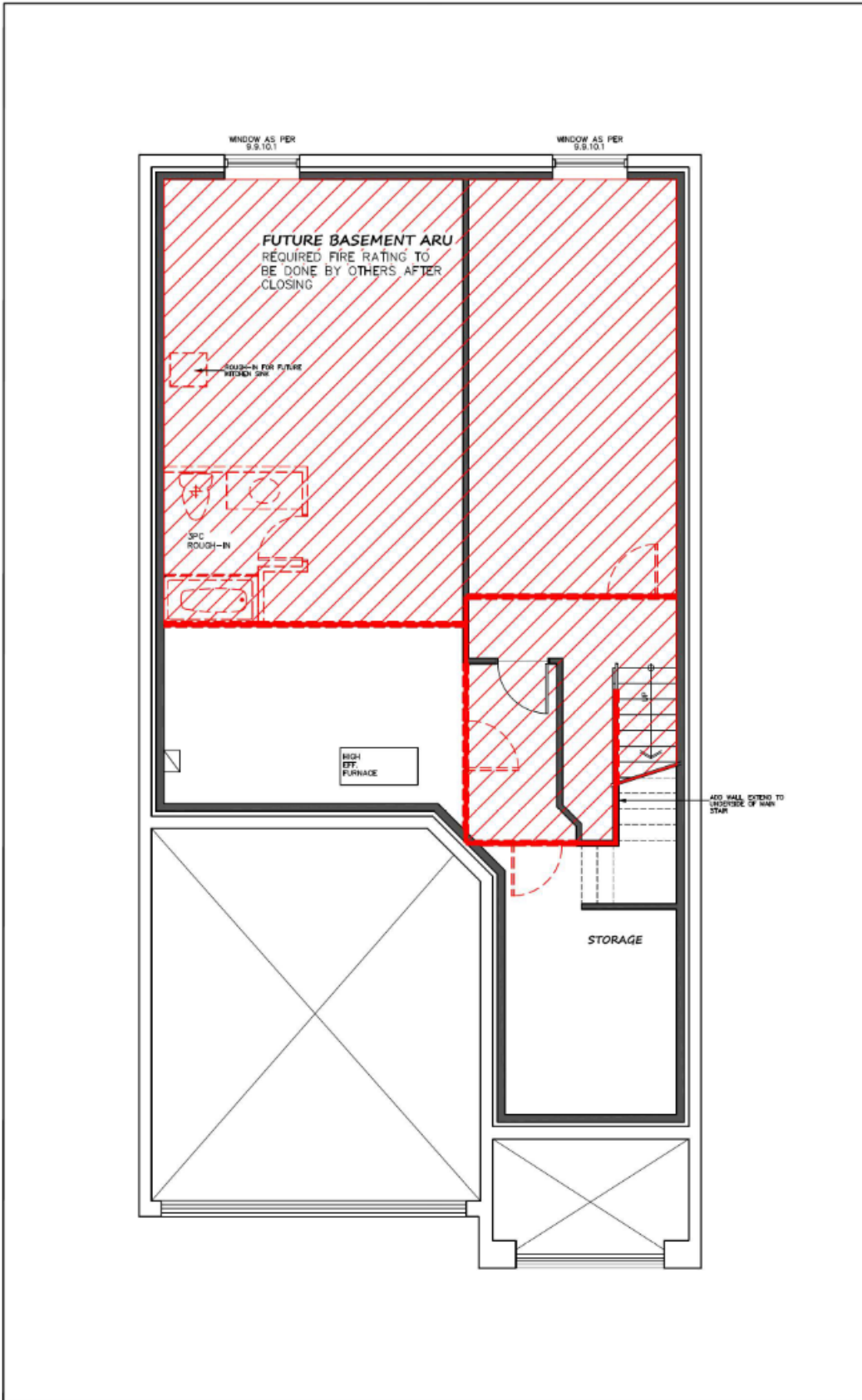


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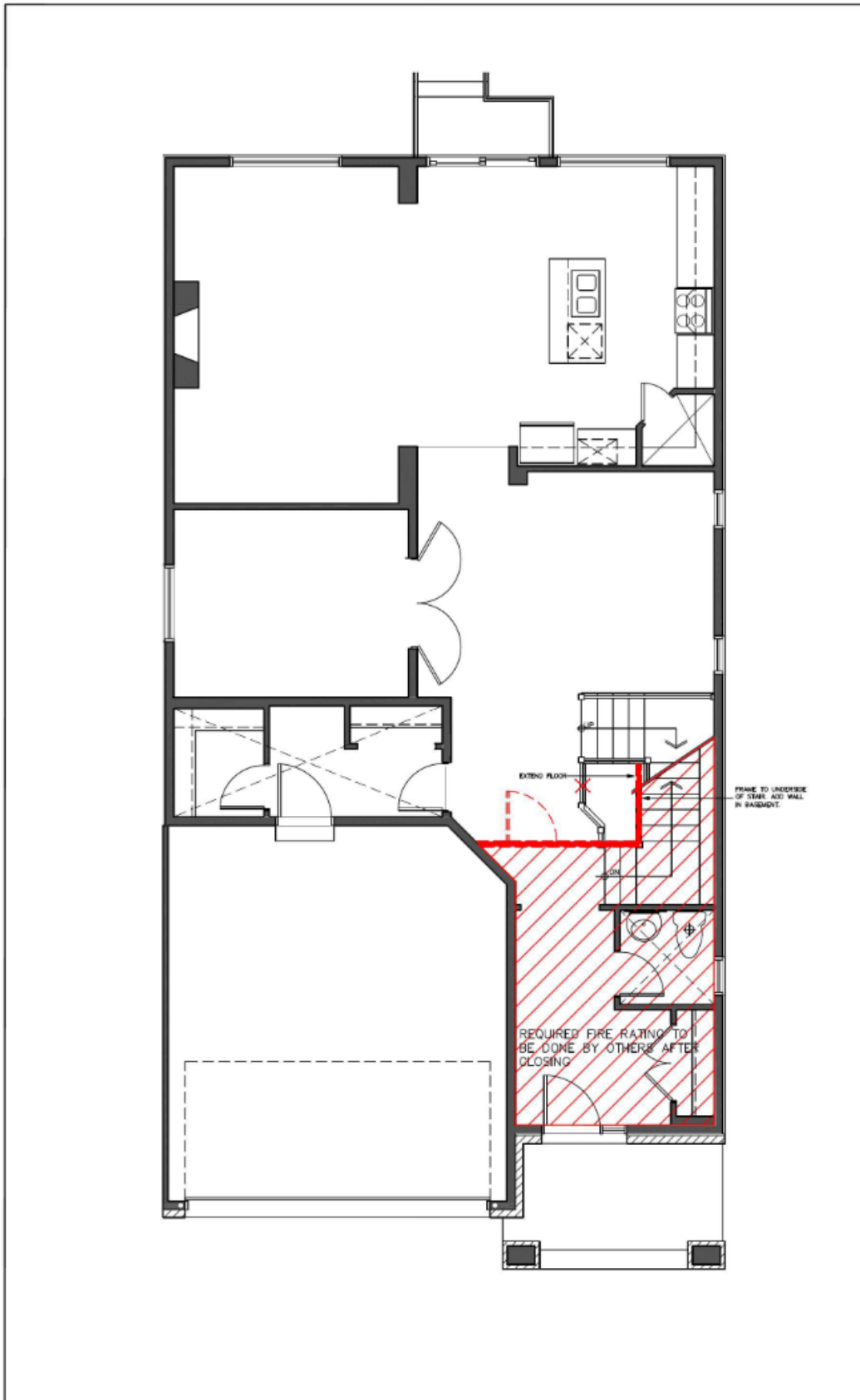




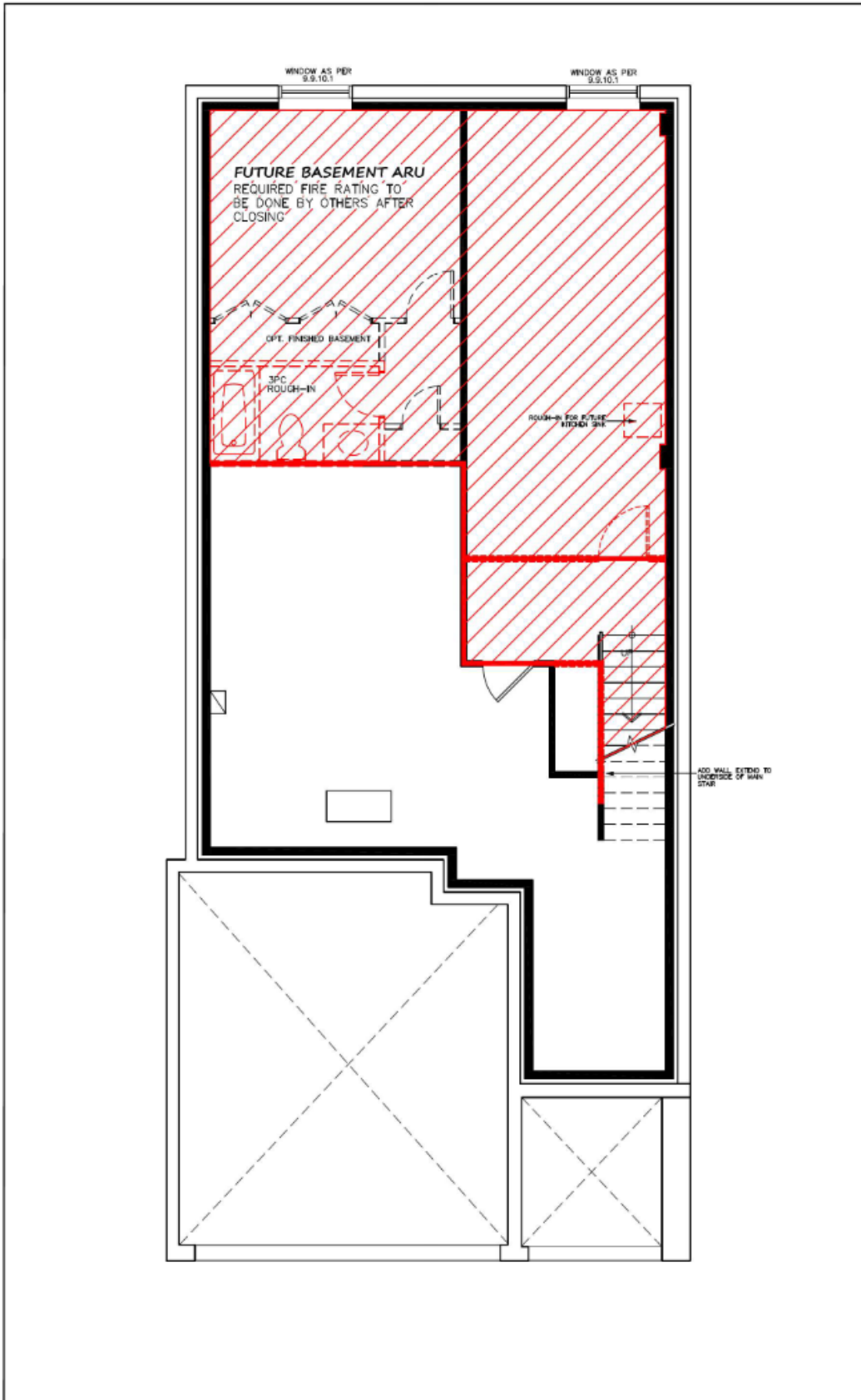
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Tamarack homes
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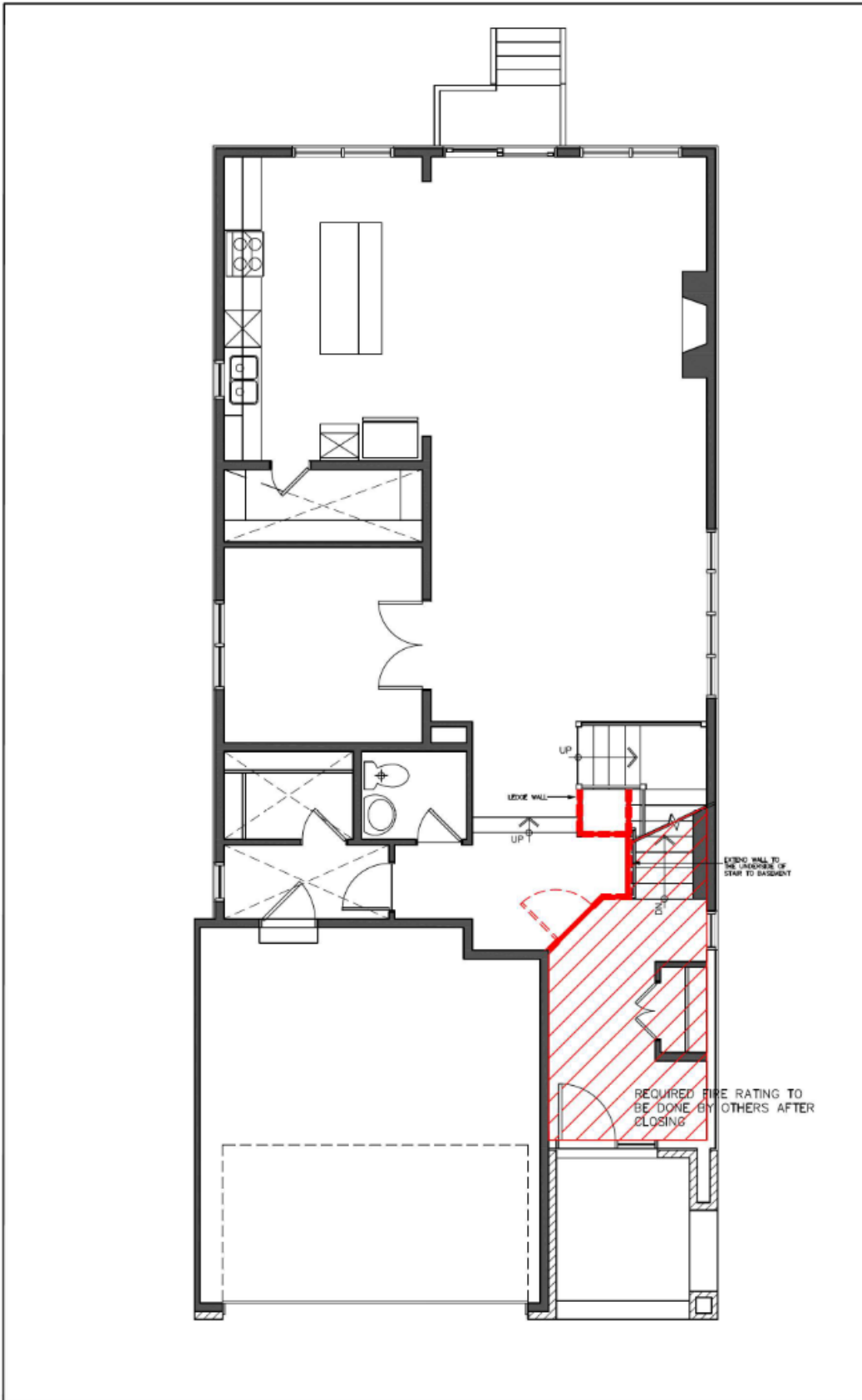
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|  | THE HARTLAND II | MODEL NO. 3826 |
| | Basement Plan | SCALE 1:50 |
| | | DATE MAY 05 2023 |
| | | ARU PLANS |



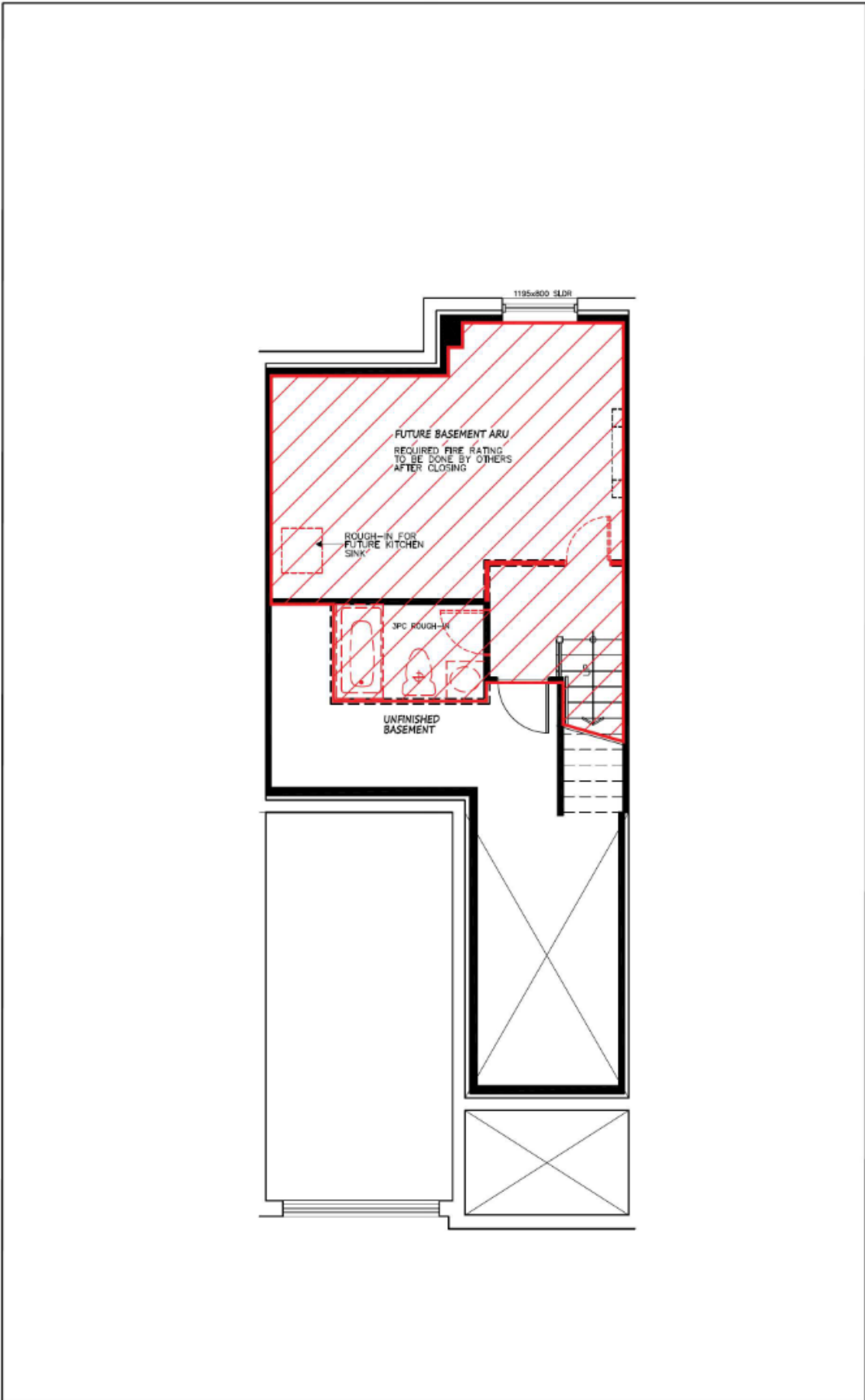
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| | Ground Floor Plan | SCALE 1:50 |
| | | DATE MAY 05 2023 |
| | | ARJ PLAN |



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|  | <p>THE EMERSON</p> | <p>MODEL NO. M 3530</p> |
| | <p>Basement Plan</p> | <p>SCALE 1:75</p> |
| | | <p>DATE MAY 05 2023</p> |
| | | <p>ARU PLAN</p> |



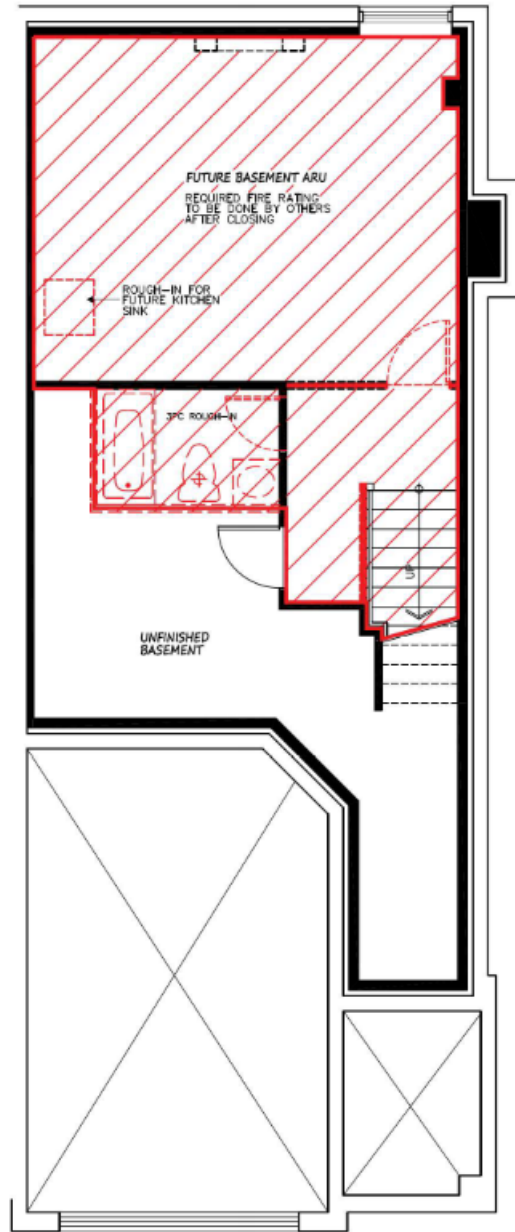
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|  | <p>THE EMERSON</p> | <p>MODEL NO. M 3530</p> |
| | <p>Ground Floor Plan</p> | <p>SCALE 1:75</p> |
| | | <p>DATE MAY 05 2023</p> |
| | | <p>ARJ PLAN</p> |



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|  | <p>THE ABBEY</p> | <p>MODEL NO. T-16</p> |
| | <p>Basement Plan</p> | <p>SCALE N.T.S.</p> |
| | | <p>DATE MAY 05 2023</p> |
| | | <p>ARU PLAN</p> |

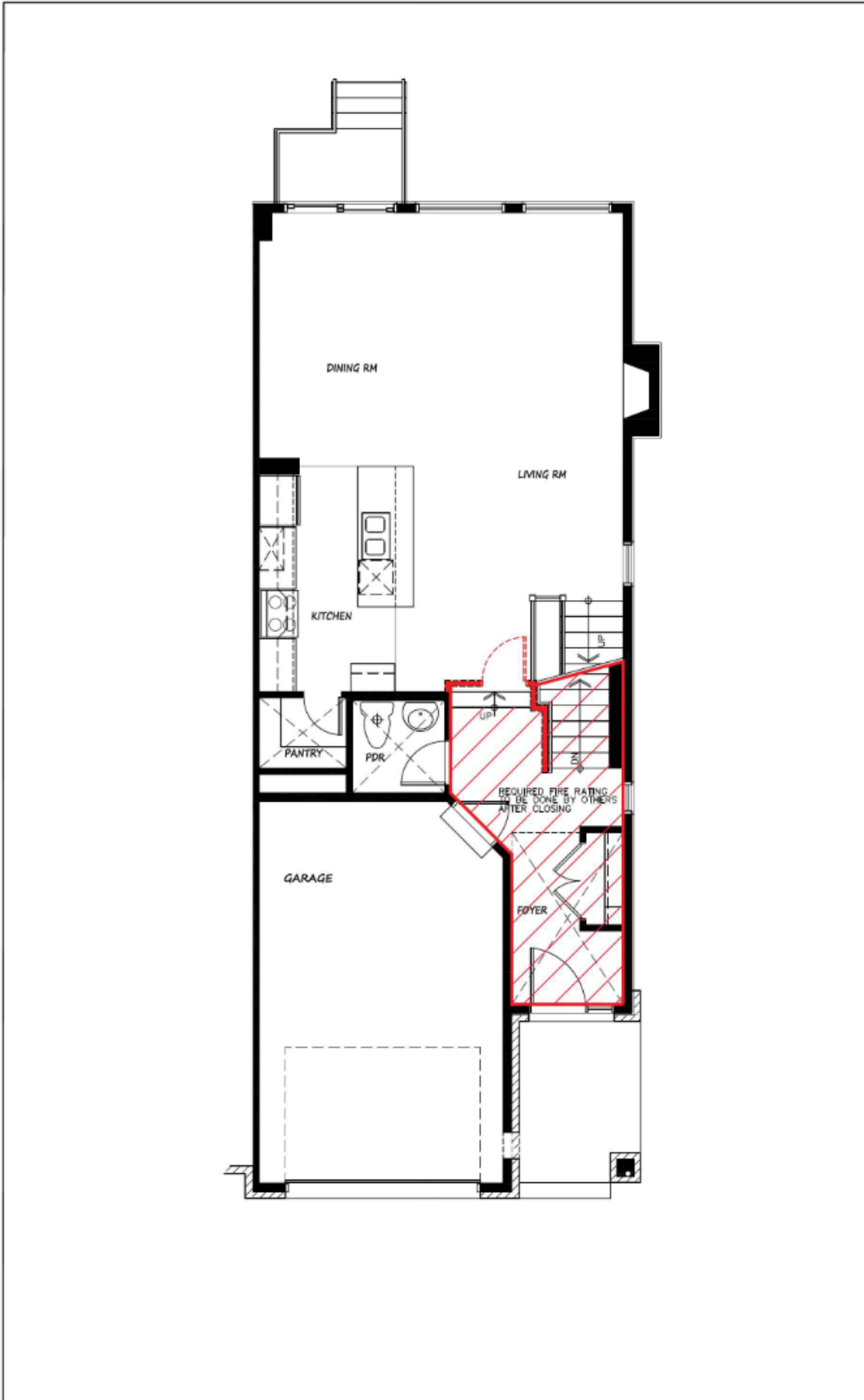


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|  | <h1>THE ABBEY</h1> | MODEL NO. T-16 |
| | <h2>Ground Floor Plan</h2> | SCALE N.T.S. DATE MAY 05 2023 ARU PLAN |



THE CAMDEN
Basement Plan

MODEL NO.
T-16
SCALE
N.T.S
DATE
MAY 05 2023
ARU PLAN



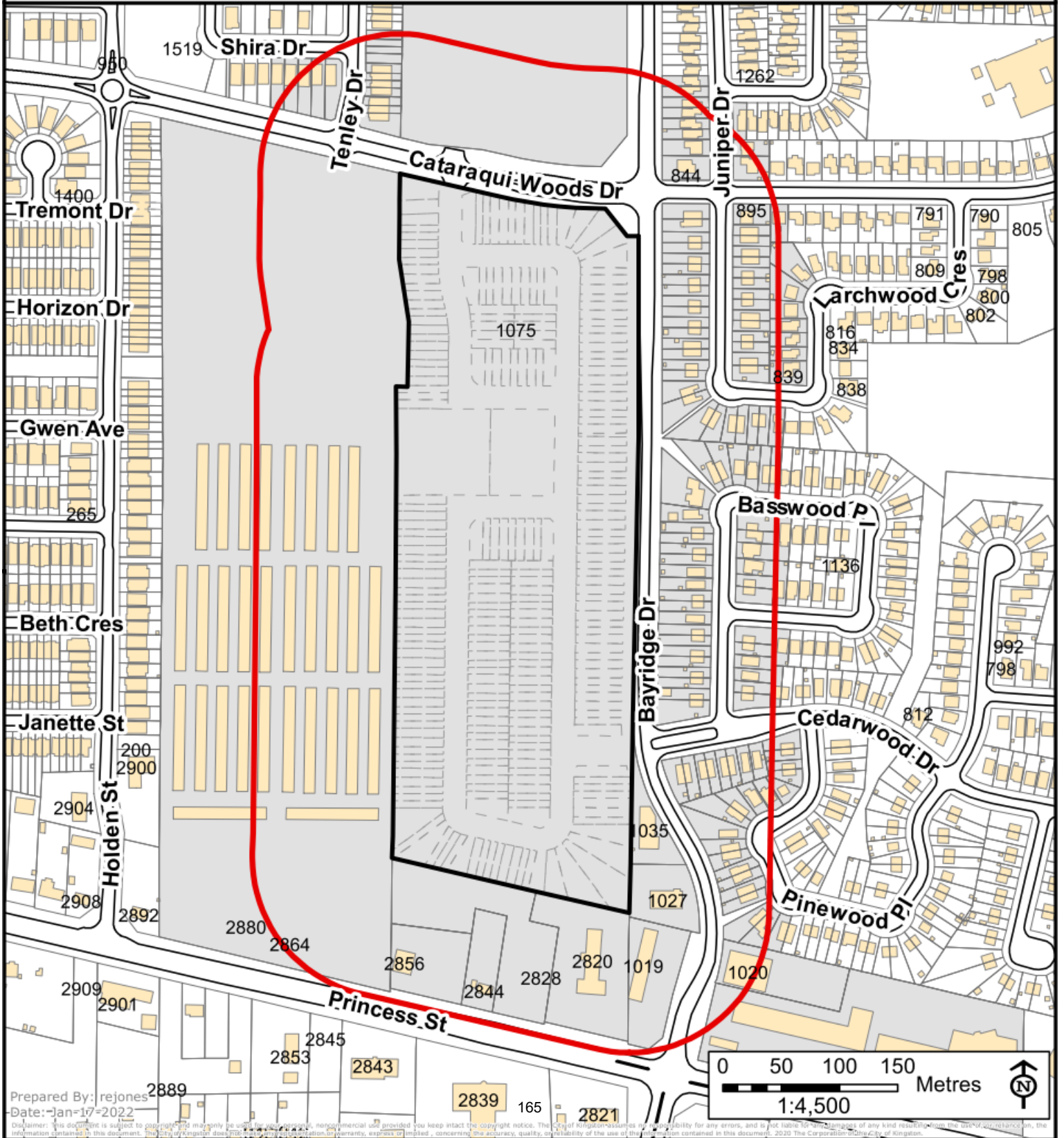
THE CAMDEN
Ground Floor Plan

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| MODEL NO. | T-16 |
| SCALE | N.T.S |
| DATE | MAY 05 2023 |
| | ARU PLAN |



CITY OF KINGSTON
Public Notice Notification Map
Address: 1075 Bayridge Dr
File Number: D35-012-2021

- 120m Public Notification Boundary
- Subject Lands
- Proposed Parcels
- Property Boundaries
- Properties in Receipt of Notice (MPAC)



Clendening, Ian

From: Martha Cochrane [REDACTED] >
Sent: February 17, 2022 11:27 PM
Cc: Clendening, Ian
Subject: Comments Arising From February 17, 2022 Public Meeting of D35-012-2021

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Hello Elizabeth.

Please accept my apologies for the failure of my microphone this evening, which prevented me from participating in the discussion portion of this evening's meeting. I appreciate you forwarding this email on to the committee members, the applicant and any others of concern.

Although I had previously submitted two emails of comments via Ian Clendening, which I hope the planning committee and applicant will review, consider and respond to, this evening's meeting prompted some new and additional areas of comment, questions and concern.

* Having already highlighted concerns about the traffic congestion that this new subdivision will cause along existing roadways with the intersections proposed, I believe that an additional access route to the subdivision is required. I request that the city require the applicant to proceed with roughing in the road access at the southwest corner of the property (I believe along the easement associated with Block 268) towards Princess St. that was identified in Supporting Information as another potential access route to the subdivision. This additional entrance and exit to the proposed subdivision would alleviate some of the burden that the extra traffic is going to place on the Bayridge Dr at Cedarwood Dr intersection. It should be pointed out, in the name of safety, that I fear increased southbound traffic on Bayridge Drive from Cedarwood Drive, (which is beyond the proposed widening of Bayridge Dr), has the potential to have serious consequences for the day care centre identified at Lot 1035. I have witnessed southbound traffic on Bayridge Drive, just south of the intersection at Cedarwood Drive, depart west from the roadway, travel south over the sidewalk and grass and flank the Day Care Centre fence to get around traffic attempting to turn east onto Cedarwood Drive from Bayridge Dr. It is already a problem and I foresee that the added traffic will make it a nightmare.

* I am extremely disappointed that the applicant and developer have chosen to propose 246 row houses, 14 townhouses and only 1 detached dwelling to comprise the dwellings for this subdivision. I firmly believe that this space needs more diversity, variety in dwelling types and mixed use while providing residential options. The congestion of so many tightly concentrated dwellings, without much multi use space in a 12 hectare+ space will undoubtedly create many

unwanted and adverse results as well as headaches for the residents of the subdivision, their neighbours and Councillor Chappelle.

* As was pointed out in this evening's meeting, reducing traffic sightlines within the proposed subdivision compounds the safety concerns inherent with this proposal.

* A roughly one acre park is not a large free space area for use by the number of dwellings the subdivision is proposed to serve (261). I believe that this is insufficient to serve the needs of the subdivision residents and will be a point of frustration and neglect.

* Is a multi-use pathway (versus a sidewalk) being proposed to run the full length of the west side of Bayridge Drive from Cedarwood Drive to Cataraqi Woods Drive along this development? For safety reasons, I think it is imperative. I do not yet know what widening of Bayridge Dr from Cataraqi Woods Dr to Cedarwood Dr is intended to accomplish, but hope and expect that it will provide a buffer zone for pedestrians walking along the west side of Bayridge Drive on a constructed pathway or sidewalk.

* I am disappointed and concerned that the actual images and designs of the dwellings that are proposed to be built in this subdivision have not been identified and will not be decided until the time of building. As the project as it now stands appears to be a residential attraction for lower income occupants, the aesthetics, landscaping, parking, greenspace, mailbox provisions, safety provisions and outdoor enjoyment considerations, among other things, are a real concern for current residents of the Cataraqi Woods neighbourhood.

Thank you for considering and responding to the above.

Martha Cochrane
849 Cedarwood Dr.
Kingston, On K7P 1K7



Clendening, Ian

From: Martha Cochrane [REDACTED] >
Sent: February 16, 2022 4:23 PM
To: Clendening, Ian
Subject: Re: D35-012-2021 Information

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Thanks so much for digging this out for me, Ian, and for your explanation. I was beginning to wonder if I hadn't dreamt it.

I also much appreciate your requesting any comments from the City's Risk Management Official.

Best Regards,

Martha Cochrane

On Wed, Feb 16, 2022 at 3:57 PM Clendening, Ian <iclendening@cityofkingston.ca> wrote:

Hi Martha,

You are quite correct in that the Cataraqui Source Protection Plan has identified this area as being within a “highly vulnerable aquifer”. While I await any comments which may be forthcoming from the City’s Risk Management Official. In general residential uses are not likely to be a significant drinking water threat, with aquifers generally being areas prone for the introduction of pathogens via drilled wells or other similar situations. The Source Protection Plan outlines the following in regards to highly vulnerable aquifers:

5.5.1-HR a. Municipalities reviewing proposals under the *Planning Act* or *Condominium Act* for new development and for expansions to existing development located in a highly vulnerable aquifer or significant groundwater recharge area, and involving one or more of the activities listed below, should incorporate measures/management practices to adequately manage the risk to groundwater quality associated with those activities. This policy contains examples of land uses associated with these activities, which are low drinking water threats, and is not considered to be an exhaustive list.

Municipalities can meet the intent of this policy in a number of ways:

- requiring up-front disclosure of activities
- site plan control
- development agreements
- conditional zoning (when available).

Risk management measures like siting of storage facilities, spill containment and storm-water management can be implemented through site plan control or development agreements.

- i. the handling and storage of more than 25 litres of dense non-aqueous-phase liquids (DNAPLs) and/or organic solvents (e.g., metal manufacturing, electroplating and fabrication indus-

tries, automotive or equipment repair shops, furniture refinishing shops, dry cleaning establishments)

- ii. the handling and storage of more than 2,500 kilograms or litres of commercial fertilizer and/or more than 250 kilograms or litres of pesticide where it is sold or used for application at other sites, except where it is manufactured or processed (e.g., lawn and garden centres, farm supply stores, yard maintenance contractors, golf courses)
- iii. the handling and storage of more than 2,500 litres of liquid fuel (e.g., gas stations)
- iv. the handling and storage of more than 500 tonnes of road salt (e.g., public or private maintenance yards)
- v. at or above-grade snow storage that is more than 1 hectare in size (e.g., public or private maintenance yards, snow dumps)
- vi. the storage of mine tailings (e.g., mineral extraction sites)
- vii. the storage of PCBs (e.g., waste transfer stations)

- b. If there is any evidence of surface karst formations (e.g., disappearing streams, sinkholes, caves, vertical fissures) on the property, the municipality should require the developer to have a karst assessment completed by a karst specialist to determine what, if any, additional risk management measures may be required.
- c. This requirement could be waived if the proponent can demonstrate through a site specific investigation that a property does not exhibit characteristics of a highly vulnerable aquifer and/or significant groundwater recharge area.

5.5.2-NB a. In order to monitor the implementation of policy 5.5.1-HR, municipalities should provide the Cataraqui Source Protection Authority with a copy of any approvals under the *Planning Act* or *Condominium Act* for applications for properties in the highly vulnerable aquifers and significant groundwater recharge areas that relate to the activities listed in 5.5.1-HR, when the Notice of Decision is issued.

Kindly,



Ian Clendening (he/him/his)

Senior Planner

Planning Services

City of Kingston

Located at: 1211 John Counter Boulevard,

216 Ontario Street Kingston, ON K7L 2Z3

613-546-4291 extension 3126

iclendening@cityofkingston.ca



The City of Kingston acknowledges that we are on the traditional homeland of the Anishinaabe, Haudenosaunee and the Huron-Wendat, and thanks these nations for their care and stewardship over this shared land.

From: Martha Cochrane [REDACTED] >
Sent: February 16, 2022 1:57 PM
To: Clendening, Ian <iclendening@cityofkingston.ca>
Subject: D35-012-2021 Information

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Hello Ian.

In preparation for this Thursday's Planning Committee meeting, I have re-reviewed your helpful and thorough emails, as well as each of the posted Supporting Information documents associated with the Application submitted pertaining to the subject development at 1075 Bayridge Drive.

An issue of some concern is eluding me. I remember reading mention in one of the documents that a potential groundwater threat was identified as moderate to high risk, which could prompt the requirement to conduct an assessment (or it was an impact study). I forgot to mention this item in my previous email of comments, and wanted to revisit this point given its potential importance. Despite trying to find this reference again, for the life of me I cannot. Would you be able to direct me to where this brief mention about the potential high risk groundwater situation is located?

Many thanks.

Martha Cochrane

Clendening, Ian

From: Paul Martin [REDACTED] >
Sent: February 16, 2022 10:43 PM
To: Clendening, Ian
Subject: Re: City File Number: D35-012-2021

Follow Up Flag: Follow up
Flag Status: Completed

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Good evening Ian,

Martin construction is in full support of the proposed draft plan of the subdivision and zoning by-law amendment. We see this as much needed affordable housing for the City of Kingston.

We would like to acknowledge that we are a commercial self storage facility with vehicles coming and going seven days a week, 24 hours a day. The noise impact feasibility study did not seem to address this use, as our business backs onto these homes.

There also were agreements put in place between Taggart corporation and Tamarack homes and Martin construction That would allow for easements across and through Martin construction properties. These agreements are now being reviewed, and updates may be required.

Thank you;

Paul Martin

On Feb 16, 2022, at 3:15 PM, Clendening, Ian <iclendening@cityofkingston.ca> wrote:

Hi Paul,

Sorry for the distraction as we were talking. I can confirm I have taken note of your concerns and would be happy to put this forward for consideration. As highlighted, should you wish to make a formal comment (and/or attend the public meeting) outlining your concerns, I would highly encourage doing so as you obviously have a more intimate understanding of your business and the potential for impact on the proposed residential use.

Kindly,



Ian Clendening (he/him/his)

Senior Planner
Planning Services

City of Kingston
Located at: 1211 John Counter Boulevard,
216 Ontario Street Kingston, ON K7L 2Z3
613-546-4291 extension 3126
iclendening@cityofkingston.ca

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From: Clendening,Ian
Sent: February 8, 2022 1:15 PM
To: Paul Martin [REDACTED] >
Subject: RE: City File Number: D35-012-2021

Further to your inquiry please see the attached pdfs.

Kindly,



Ian Clendening (he/him/his)

Senior Planner
Planning Services

City of Kingston
Located at: 1211 John Counter Boulevard,
216 Ontario Street Kingston, ON K7L 2Z3
613-546-4291 extension 3126
iclendening@cityofkingston.ca

The City of Kingston acknowledges that we are on the traditional homeland of the Anishinaabe, Haudenosaunee and the Huron-Wendat, and thanks these nations for their care and stewardship over this shared land.

From: Clendening,Ian
Sent: February 3, 2022 9:59 AM
To: Paul Martin [REDACTED] >
Subject: RE: City File Number: D35-012-2021

Hi Paul,

The City of Kingston uses an online portal, DASH, to provide the public with easy access to documents related to a planning application. To view applications, no user account is required and can be accessed at <https://www.cityofkingston.ca/business/dash>

By navigating to the area in question you will see a brief description of the application. This allows you to also click through using “View Details” to access additional “Supporting Information” which is accessed through a drop-down menu.

As always, the City welcomes comments regarding planning matters. All comments form a part of the public record and are considered in making a decision on a planning matter.



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For a more detailed map of projects within the City, see the [full screen view](#)

SEARCH for active applications!

What's happening in your area? The City wants to provide the community with awareness regarding active development. Zoom or search for an area to see what is being developed and click on the blue dots to see the details.

The map allows you to look at all active development files across the city, including:

- > Official Plan amendments
- > Zoning Bylaw amendments
- > Draft plan of subdivision
- > Site plans
- > Minor variance
- > Consent

Full Screen View

The full screen view provides insight into:

- > Building permit activity
- > Heritage permit applications
- > Official Plan land use
- > Zoning Bylaw regulations
- > Secondary residential unit areas
- > First draft of new City-Wide Zoning Bylaw



Contact
1211 J
DASH@
Phone:

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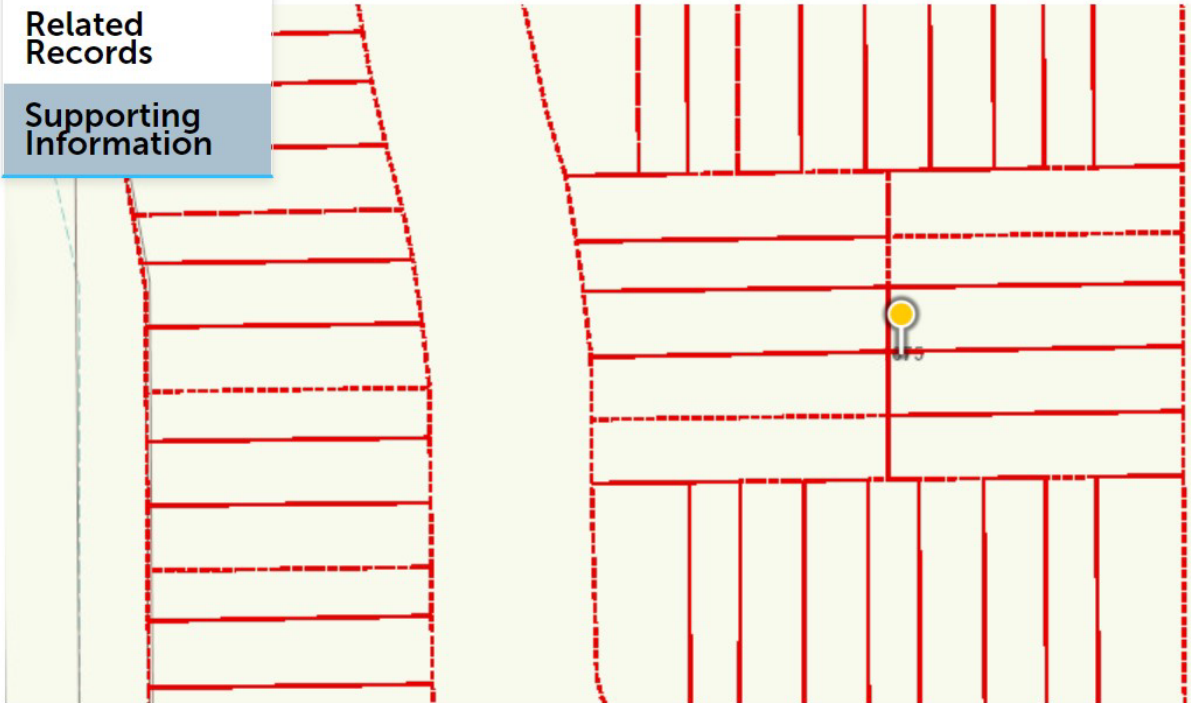
Search for Development Applications

Record D35-012-2021:
OPA, ZBA, DPC, DPS
Record Status: In Technical Review

Record Info ▾

- Record Details
- Processing Status
- Related Records
- Supporting Information**

ation



Record Details

Kindly,



Ian Clendening (he/him/his)

Senior Planner
Planning Services

City of Kingston
Located at: 1211 John Counter Boulevard,
216 Ontario Street Kingston, ON K7L 2Z3
613-546-4291 extension 3126
iclendening@cityofkingston.ca

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From: Paul Martin [REDACTED] >
Sent: February 2, 2022 8:11 PM
To: Clendening, Ian <iclendening@cityofkingston.ca>
Subject: City File Number: D35-012-2021

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Good evening Ian,

The property address 1075 Bayridge Drive, abuts our property. We ask that you send all information on this proposed Zoning By-Law Amendment (ZAB) and Draft Plan of Subdivision, we would like to better understand this proposal.

Thank you;

Paul Martin
Martin Group of Companies
400-1473 John Counter Blvd.
Kingston, ON, K7M 8Z6
Tel: [REDACTED]
Cell: [REDACTED]
Email: [REDACTED]

Clendening, Ian

From: Nancy McIntyre [REDACTED]
Sent: February 13, 2022 10:53 AM
To: Clendening, Ian
Subject: Re: Information on D35-012-2021

Follow Up Flag: Follow up
Flag Status: Flagged

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Thank you for info

The picture you sent me was for townhouses which were beautiful and would add value to Catwoods and Bayridge drive, but I would like pictures of proposed

Rowhouses, do you have any pictures of rowhouses, hopefully just as nice.

Tried to find on DASH

Thank you

Get [Outlook for Android](#)

Clendening, Ian

From: Clendening, Ian
Sent: February 11, 2022 12:16 PM
To: Martha Cochrane
Subject: RE: D35-012-2021 Information

Hi Martha,

First of all, thank you for your comments. By way of this e-mail, I can confirm receipt.

I will pass along your questions to the applicant to address. I can also provide a screenshot of the conceptual design of the row houses which was provided in the Planning Justification Report:

Woodhaven Phase 5 proposes housing types that are compatible with one another and with the proposed built form in Cataraqui West. The draft plan moves the park and stormwater management north than what is contemplated in the Master Plan and Cataraqui West Secondary Plan to maintain compatibility with adjacent lands while improving the relationship of this parkland with this subdivision. The subject lands will contain provisions to allow a mix of medium and low-density residential dwellings, and the applicant elects to incorporate different dwelling unit types over time. Lot frontages, front yard depths have been reduced to encourage densities which efficiently use land, resources while maintaining the established character in Cataraqui West.

The primary home builders (Tamarack Homes and CaraCo Homes) that will be constructing Woodhaven Phase 5 have supplied the following rendering to demonstrate the intended built form.



Figure 10: Typical Townhouse Dwellings (source: Tamarack Homes)

Kindly,



Ian Clendening (he/him/his)

Senior Planner
Planning Services

City of Kingston
Located at: 1211 John Counter Boulevard,
216 Ontario Street Kingston, ON K7L 2Z3
613-546-4291 extension 3126
iclendening@cityofkingston.ca

The City of Kingston acknowledges that we are on the traditional homeland of the Anishinaabe, Haudenosaunee and the Huron-Wendat, and thanks these nations for their care and stewardship over this shared land.

From: Martha Cochrane [REDACTED] >
Sent: February 11, 2022 11:33 AM
To: Clendening, Ian <iclendening@cityofkingston.ca>
Subject: Re: D35-012-2021 Information

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Ian.

Thank you very much for speaking with me the other afternoon and for forwarding to me the draft plan of the subdivision at 1075 Bayridge Drive and the related survey. A number of my questions about the residential development were answered during the course of our conversation and by thoroughly reviewing these documents, although a few questions remain.

I was pleased to see that the reason for the EPA zoning of this property has already been addressed and that 261 trees will be planted in place of the 261 trees that will be removed during the subdivision development.

> Timelines and duration of the project: When is the project expected to break ground and when is the construction of the subdivision expected to be completed?

> In what area of the property is construction to commence, i.e. nearest to the Cataraqui Woods Drive entrance to the property or nearest to the Bayridge Drive at Cedarwood Drive entrance?

> Traffic along Bayridge Drive has increased substantially ever since the road was extended to intersect with Creekford Road. The relocation of ambulance and paramedic services to the Woodbine Road Fire Station has significantly added to the already increased volume of traffic on Bayridge Drive north of Princess Street. It is my hope that the construction entrance for this new subdivision be the Cataraqui Woods Drive entrance, to alleviate congestion along Bayridge Drive

at Cedarwood Drive and its impact on existing residents. Given the size of the property to be developed, I hope that the workers' vehicles would be parked on site and not parked on the roadways of the adjacent existing residential area.

> The section of Bayridge Drive south of Cedarwood Drive and along to Princess Street appears to be beyond the designated road widening area of Bayridge Drive. This relatively short "S" bend section of Bayridge Drive is busy and becomes quite congested as vehicles attempt to enter and leave businesses along this stretch, resulting in traffic being backed up along Bayridge Drive in both directions. It is not uncommon for northbound traffic to be at a standstill up to the Princess Street intersection and for the southbound traffic to become halted at the intersection of Cedarwood Drive. Are there any plans to address this issue, given that access to the new residential subdivision will be adding considerably to the road congestion along Bayridge Drive?

> Re: widening of Bayridge Drive north of Cedarwood Drive to Creekford Road. Is it intended that the road expansion be used as a turn lane on the west side of Bayridge Drive north of Cedarwood Drive for vehicles to enter the new subdivision?

> The residential area on Cedarwood Drive by Bayridge Drive, which is adjacent to the new development, is the oldest section of Cataraqui Woods subdivision. As the dwellings in this area are more than 40 years old, the existing infrastructure is aged. I am wondering if and how creating the infrastructure for the new subdivision might tax and affect the existing old infrastructure and its capacity to handle increased load and demand, especially on sewer and water main systems. I do not fully understand the proposed infrastructure easements nor do I know what the proposed storm and sanitary easements entail and the resulting potential consequences. Will there be interruptions and/or reduced performance to existing customers in the neighbourhood during and/or after construction?

> I see only one pathway (between Lot 90 and Lot 91) on the draft plan. There are a number of other spaces on the plan's legend that indicate easements, i.e. between Lots 72 and 73; between Lots 83 and 84; between Lots 100 and 101, etc. Are these intended to be additional pathways?

> The WIFI bandwidth in the area of Cedarwood Drive by Bayridge Drive is very poor and will be unusable with the additional demand of 261 additional households. I did not see any reference to improving or addressing this service.

> Do you know where I might view an artist's rendering, conceptual design or detailed images of the proposed dwellings?

> Is it part of the applicant's proposal and intent that uniform fencing be installed at the rear of the dwelling properties along Bayridge Drive and Cataraqui Woods Drive?

Many thanks again for your attention in addressing my questions and concerns. I appreciate you forwarding my thoughts and queries to the relevant parties and look forward to attending the virtual meeting on Thursday February 17, 2022.

Martha Cochrane

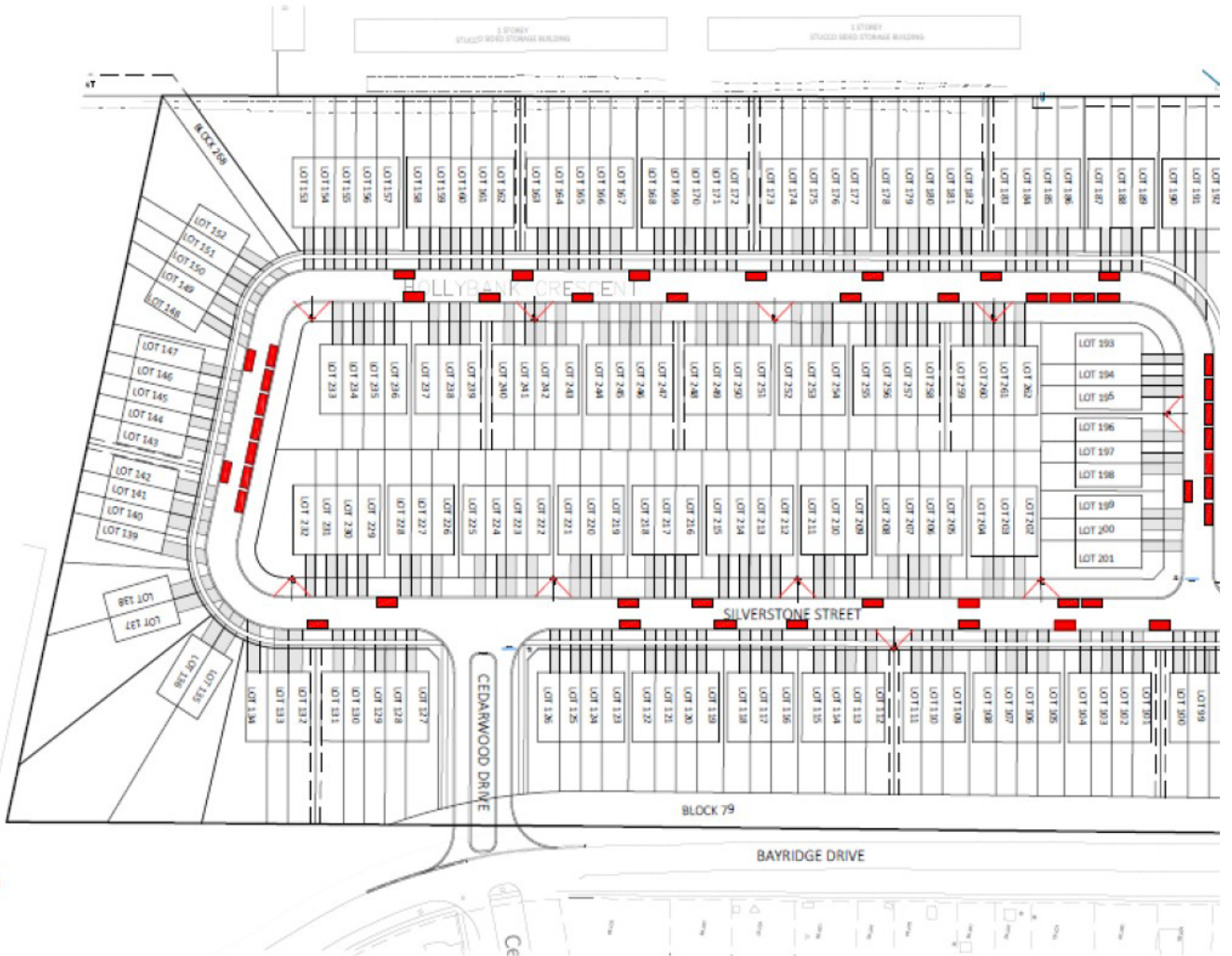
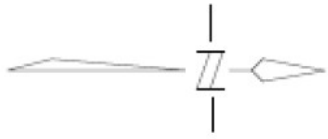
homeowner and resident of 849 Cedarwood Drive, Kingston ON K7P 1K7



On Wed, Feb 9, 2022 at 9:01 AM Clendening, Ian <iclendening@cityofkingston.ca> wrote:

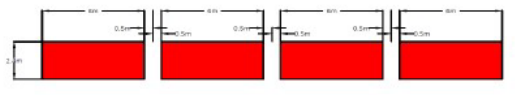
Further to our conversation yesterday, I wanted to outline how to access documents related to the proposed subdivision. As some of the files are quite large, it would be necessary to access them through this portal (details below).

As referenced on the phone, the City does appreciate all comments regarding an application whether that is in favour or opposition to a proposal, or elements of it. If you have any questions, I would be happy to direct them to the appropriate individual. For your convenience, in addition to the directions to DASH, I have attached the survey and provided a screenshot of the parking (from page 105 of the Traffic Impact Study) and intersection of Cedarwood Drive and Bayridge (following page).

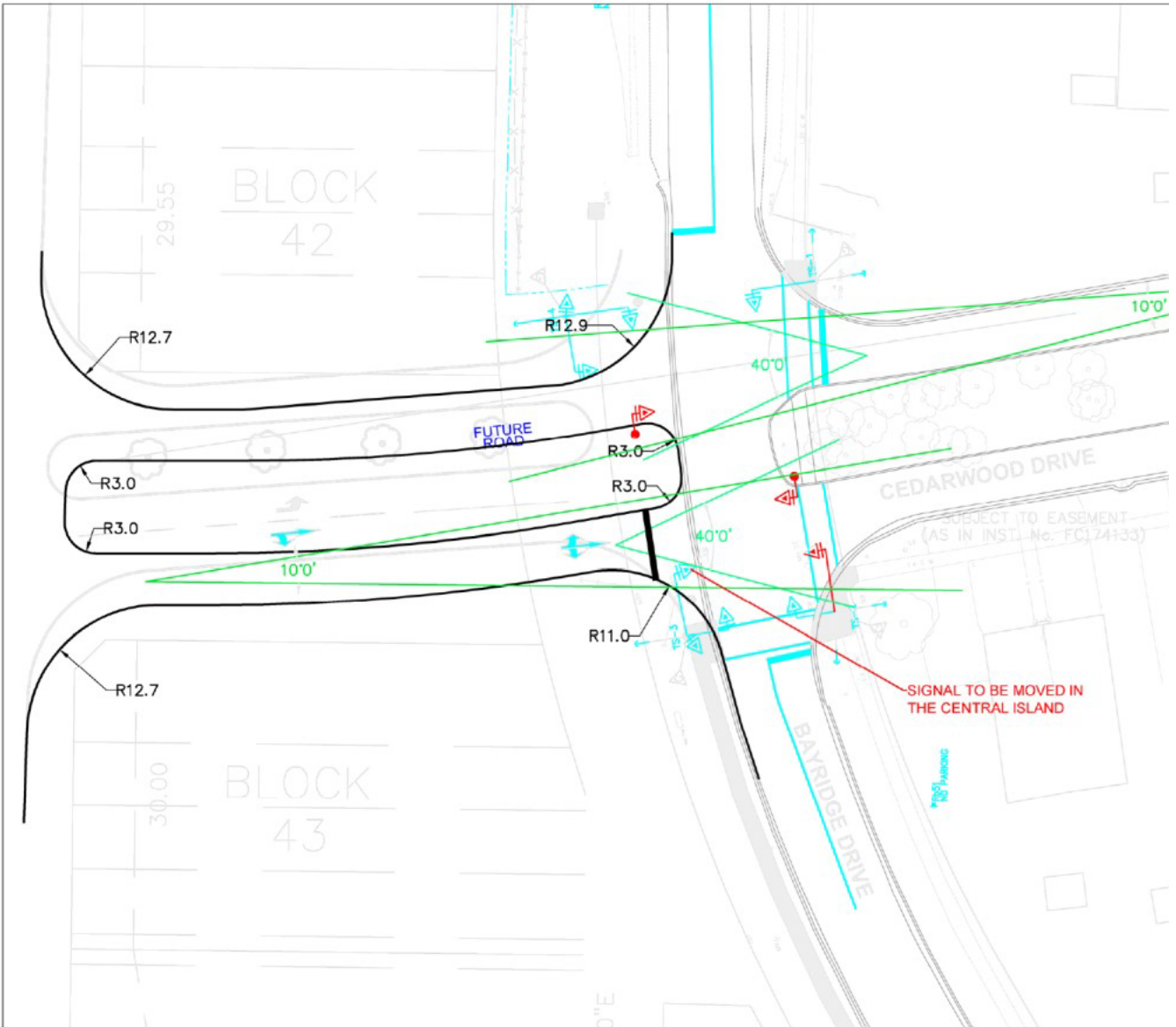


LOT 8

TYPICAL CONFIGURATION FOR MULTIPLE SPACES



G-1 Functional Plan of Bayridge Drive/Cedarwood Drive



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SEARCH for active applications!

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- > Heritage permit applications
- > Official Plan land use
- > Zoning Bylaw regulations
- > Secondary residential unit areas
- > First draft of new City-Wide Zoning Bylaw



Contact

1211 John Counte
DASH@cityofking
Phone: 613-546-4

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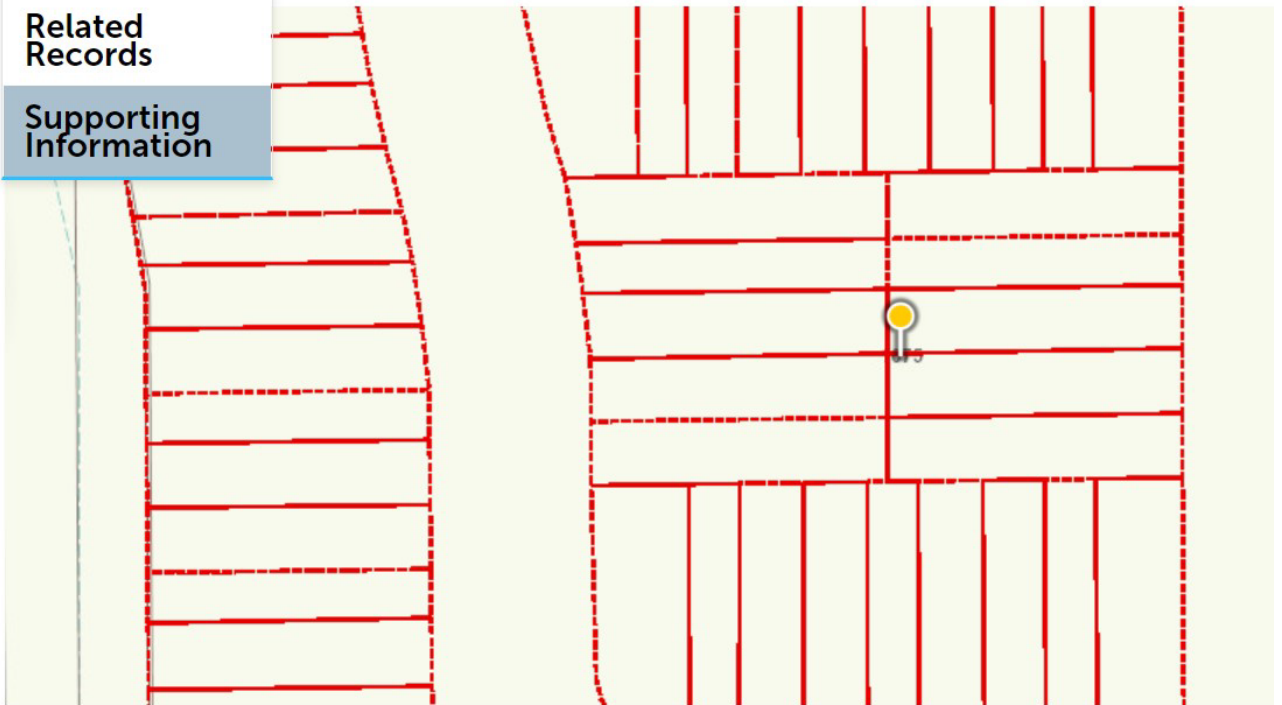
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Details

Processing
Status

Related
Records

Supporting
Information

ation



Record Details

Kindly,



Ian Clendening (he/him/his)

Senior Planner

Planning Services

City of Kingston

Located at: 1211 John Counter Boulevard,

216 Ontario Street Kingston, ON K7L 2Z3

613-546-4291 extension 3126

iclendening@cityofkingston.ca



The City of Kingston acknowledges that we are on the traditional homeland of the Anishinaabe, Haudenosaunee and the Huron-Wendat, and thanks these nations for their care and stewardship over this shared land.