



**City of Kingston  
Kingston Heritage Properties Committee  
Meeting Number 01-2024  
Agenda**

**Wednesday, December 20, 2023 at 9:30 a.m.  
Hosted at City Hall in Council Chamber**

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Please provide regrets to Iain Sullivan, Committee Clerk at 613-546-4291, extension 1864 or [isullivan@cityofkingston.ca](mailto:isullivan@cityofkingston.ca)

**Committee Composition**

Councillor Glenn  
Councillor Oosterhof  
Jennifer Demitor  
Peter Gower  
Gunnar Heissler  
Alex Legnini  
Jane McFarlane  
Daniel Rose  
Ann Stevens

- 1. Election of Officers**
- 2. Meeting to Order**
- 3. Approval of the Agenda**
- 4. Confirmation of Minutes**
  - a) **That** the minutes of Kingston Heritage Properties Committee Meeting Number 10-2023, held Wednesday, November 15, 2023, be approved.
- 5. Disclosure of Pecuniary Interest**

**6. Delegations**

**7. Briefings**

**8. Business**

**a) Pre-consultation**

**i. Subject: Request for Information**

**Address: 610 Montreal Street**

**File Number: P01-002-2023**

The Report of the Commissioner of Community Services (HP-24-001) is attached.

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Recommendation:

This report is for information purposes.

**b) Policy Development and Implementation**

**c) Stream Two Permits – Approval through Delegated Authority**

**i. Subject: Application for Heritage Permit**

**Address: 36 University Avenue**

**File Number: P18-073-2023**

The Report of the Commissioner of Community Services (HP-24-004) is attached.

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Recommendation:

**That** alterations to the Agnes at 36 University Avenue, be referred to the Director of Heritage Services for the issuance of final approval, in accordance with the details described in the application (File Number: P18-073-2023), which was deemed complete on September 7, 2023 with alterations to include the replacement, via demolition, of the 1974, 1984 and the southeast portion of the 2000 additions with a larger addition that consists of painted corrugated metal vertical siding, large sections of glazing covered with semi-regularly spaced wooden pole or painted aluminum louvre accents, and clear glazing with operable windows and/or doors along all elevations, in addition to:



1. West Elevation:
  - a. A three-storey addition connected to the retained portion of the 2000 addition;
  - b. A painted aluminum overhead door;
  - c. A new garbage enclosure with associated screens;
  - d. A new screened generator on the retained 2000s addition;
  - e. An elevator overrun with associated stair access atop the third storey;
  - f. New rooftop mechanical equipment, likely a condensing unit or air cooler;
2. South Elevation:
  - a. A three-storey addition that steps down to one storey to the east along with a cantilevered second story over the southern entrances/exits;
  - b. Various rooftop exhaust fans/ducts;
  - c. An elevator overrun atop the third storey;
  - d. Bicycle racks near the ground floor entrance;
  - e. The addition of new stand alone signage;
3. East Elevation:
  - a. A three-storey addition that steps down to one storey close to University Avenue along with a completely glazed two-storey eastern entrance;
  - b. A honed grey granite stone base for the stepped down addition;
  - c. A painted guardrail around the top of the one storey addition;
  - d. A half storey addition consisting of clear glazing that abuts the historic house;
  - e. The incorporation of a portion of the historic house into the interior of the property that will cover three window openings from the 1920s addition;
  - f. The addition of storm windows over existing Period Windows on the historic house, where necessary;
  - g. The restoration of various heritage attributes of the historic house including its masonry, pilasters along the historic eastern entrance, and various window repairs;
  - h. The removal of the French door and iron balustrades for the balcony attached to the historic house and their storage in a secure climate controlled area;
  - i. New bench installations along Indigenous Walk;

- j. A rooftop elevator overrun atop the second storey;
  - k. The addition of new stand alone signage;
4. North Elevation:
- a. The addition of storm windows over existing Period Windows on the historic house;
  - b. The restoration of various heritage attributes of the historic house including its masonry and various window repairs;
  - c. The removal of the French door and iron balustrades along the northern elevation of the historic house and their storage in a secure climate controlled area;
  - d. The installation of a new accessible multi-light glazed door in the place of the French door to accommodate an accessible entrance;
  - e. The installation of a concrete ramp with an associated terrace that connects to the Indigenous Walk, poured on a separate foundation, with an associated guardrail;
  - f. Recess the existing projecting window on the historic house's 1920s addition and replace it with curtain wall glazing;
  - g. Replacement of the existing rooftop vents on the historic house with two rooftop mechanical units;
  - h. New bench installations along the Indigenous Walk;
  - i. The like-for-like repair of the existing flat roof of the historic house;
  - j. The addition of new stand alone signage; and

**That** the approval of the alterations be subject to the following conditions:

1. That the northern & eastern elevation French doors and iron balustrades be repaired in situ to the greatest extent possible prior to their removal and then be stored in a secure climate-controlled environment to allow for their future reinstallation;
2. That the opening dimensions for both removed French doors be retained;
3. That the northern elevation ramp/terrace be completely reversible by way of a separate foundation and use of bond breaker between historic house's wall/foundation;
4. That the refinishing of the eastern facing wood entrance door/surrounds be like-for-like;
5. That a Heritage Protection and Conservation Plan that includes a Vibration Impact Assessment/Plan be provided to Heritage Planning staff prior to demolition/construction;

6. That a Heritage Documentation Report of all removed additions, both inside and outside, be provided to Heritage Planning staff prior to demolition;
7. That the finalized design details/colour of the semi-regularly spaced wooden pole or painted aluminum louvre accents, corrugated metal vertical siding, northern elevation ramp, guardrails, aluminum garage door, terrace, mechanical equipment screening, garbage enclosure, storm windows and replacement second floor balcony French door, be provided to Heritage Planning staff for review and approval prior to installation;
8. That signage details, including the type, dimensions, illumination, finish, design and colour be provided to Heritage Planning staff prior to installation for review and approval to ensure it is sympathetic to the context of the area, the building and historic house;
9. Should any wood/masonry features on the historic house require complete removal, their replacement shall be like-for-like, will subtly note the year of creation (if possible), and Heritage Planning staff shall be notified for review and approval prior to installation;
10. That the finalized location of external utilities/mechanical units be provided to Heritage Planning staff for review and approval prior to installation;
11. That Heritage Planning staff be circulated the flat roof repair strategy for the historic house for review and approval prior to implementation;
12. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
13. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
14. Any replacement masonry units shall be sourced to match, as close as possible, in colour, size and profile with the existing;
15. All *Planning Act* applications, including Site Plan Control, shall be completed, as necessary;
16. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit and *Planning Act* applications for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application; and
17. Any minor deviations from the submitted plans, which meet the intent of this approval and does not further impact the heritage attributes of the

property, shall be delegated to the Director of Heritage Services for review and approval.

- d) **Stream Three Permits – Approval through Council Authority**
- e) **Notice of Intention to Designate under the Ontario Heritage Act**
  - i. **Addresses: 101 & 103 Logan Street. 110 & 112 Ordnance Street, 114, 116 & 118 Ordnance Street, 124 Ordnance Street & 251 Sydenham Street, 201 Princess/30-32 Montreal Street, 207 Wellington Street and 4017 Unity Road**

The Report of the Commissioner of Community Services (HP-24-002) is attached.

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Recommendation:

**That** Kingston Heritage Properties Committee recommends to Council:

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 101 Logan Street, known as Mrs. Dawson’s Tavern, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 101 Logan Street, attached as Exhibit B to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 103 Logan Street, known as Mrs. Dawson’s Tavern, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 103 Logan Street, attached as Exhibit B to Report Number HP-24-002, be presented to

Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 110 Ordnance Street, known as the Crowley House, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 110 Ordnance Street, attached as Exhibit C to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 112 Ordnance Street, known as the Crowley House, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 112 Ordnance Street, attached as Exhibit C to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 114 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 114 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 116 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 116 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 118 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 118 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 124 Ordnance Street, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 124 Ordnance Street, attached as Exhibit E to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 251 Sydenham Street, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 251 Sydenham Street, attached as Exhibit E to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 201 Princess Street/30-32 Montreal Street, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 201 Princess Street/30-32 Montreal Street, attached as Exhibit F to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 207 Wellington Street, known as the Crothers Building, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 207 Wellington Street, attached as Exhibit G to Report Number HP- 24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 4017 Unity Road, as a property of cultural heritage value or interest pursuant to Section 29 of the Ontario Heritage Act, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 4017 Unity Road, attached as Exhibit H to Report Number HP-24-002, be presented to

Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act.

- f) Working Groups**
- g) Permit Approvals / Status Updates**
  - i. Permit Reporting to Committee**

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**9. Motions**

**10. Notices of Motion**

**11. Other Business**

**12. Correspondence**

**13. Date of Next Meeting**

The next meeting of the Kingston Heritage Properties Committee is scheduled for Wednesday, January 24, 2024 at 9:30 a.m.

**14. Adjournment**





**City of Kingston**  
**Information Report to Kingston Heritage Properties Committee**  
**Report Number HP-24-001**

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**To:** Chair and Members of the Kingston Heritage Properties Committee

**From:** Jennifer Campbell, Commissioner, Community Services

**Resource Staff:** Kevin Gibbs, Acting Director, Heritage Services

**Date of Meeting:** December 20, 2023

**Subject:** Request for Information

**Address:** 610 Montreal Street (P18-031)

**File Number:** File Number: P01-002-2023

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**Council Strategic Plan Alignment:**

Theme: Corporate business

Goal: See above

**Executive Summary:**

The subject property with the municipal address of 610 Montreal Street is located on the southwestern corner of the intersection of Montreal Street and Rideau/Railway Street. The property contains a rectangular, two storey coursed limestone building where most of its architectural detail is concentrated on the front (eastern) façade. The property was designated under Part IV of the *Ontario Heritage Act* in 1976 through By-Law Number 8913 and was amended in 2013 through By-Law Number 2013-54. The property is also subject to a Heritage Easement Agreement.

The applicant wishes to gain preliminary feedback on their conceptual development as it relates to the removal of a rear (western) elevation addition to support a new addition that will not exceed 45 square metres with associated roof anchored solar panels; the addition of a new parking lot with an associated storage shed and garage enclosure; a new outdoor fire circle with associated seats, new paving and shade structure with associated solar panels; a new play centre and future sweat lodge near the southwestern property line; a new accessible ramp along

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the front (eastern) façade of the property; a new outdoor kitchen behind the new addition; updated landscaping throughout the property with new benches and a bike parking area; and a new fence that surrounds the property.

The applicant is seeking comments from the Kingston Heritage Properties Committee to further inform their development concept for a future application(s) to be submitted under the *Ontario Heritage Act*.

**Recommendation:**

This report is for information purposes.

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**Authorizing Signatures:**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

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**Jennifer Campbell,  
Commissioner, Community  
Services**

ORIGINAL SIGNED BY COMMISSIONER

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**Lanie Hurdle, Chief  
Administrative Officer**

**Consultation with the following Members of the Corporate Management Team:**

Paige Agnew, Commissioner, Growth & Development Services	Not required
Neil Carbone, Commissioner, Corporate Services	Not required
David Fell, President & CEO, Utilities Kingston	Not required
Peter Huigenbos, Commissioner, Major Projects & Strategic Initiatives	Not required
Brad Joyce, Commissioner, Infrastructure, Transportation & Emergency Services	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required

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**Options/Discussion:**

**Description of Application/Background**

The subject property with the municipal address of 610 Montreal Street is located on the southwestern corner of the intersection of Montreal Street and Rideau/Railway Street. The property contains a rectangular, two storey coursed limestone building where most of its architectural detail is concentrated on the front (eastern) façade. The property was designated under Part IV of the *Ontario Heritage Act* in 1976 through By-Law Number 8913 and was amended in 2013 through By-Law Number 2013-54. The property is also subject to a Heritage Easement Agreement. This Easement mainly focuses on expectations for owners other than the City and is not relevant to this application.

Under Clause 17 of the Procedural By-Law for Heritage (By-Law Number 2023-38), the Director of Heritage Services may pre-consult with the Committee on complex applications when deemed necessary. The following report is provided for pre-consultation purposes. Pre-consultation with the Committee is not a statutory requirement under the *Ontario Heritage Act*.

The applicant wishes to gain preliminary feedback on their submitted conceptual development as it relates to the removal of a rear (western) elevation addition to support a new addition that will not exceed 45 square metres with associated roof anchored solar panels; the addition of a new parking lot with an associated storage shed and garage enclosure; a new outdoor fire circle with associated seats, new paving and shade structure with associated solar panels; a new play centre and future sweat lodge near the southwestern property line; a new accessible ramp along the front (eastern) façade of the property; a new outdoor kitchen behind the new addition; updated landscaping throughout the property with new benches and a bike parking area; and a new fence that surrounds the property.

The City of Kingston is the applicant and is proposing this project under Council's direction with the goal of building long standing partnerships with the local Indigenous population. The property is currently leased from the City for the operation of "The Kingston Native Centre and Language Nest" (KNCLN). The purpose of KNCLN is to "...lead the resurgence of Indigenous languages in Kingston and support its Indigenous population through community outreach programs by providing cultural spaces amenable to teaching and celebrating traditional practices and craftsmanship" (Exhibit C). This project aims to support the local Indigenous population by helping to create a safe and purpose built space to promote Indigenous cultural services. To achieve this goal while also allowing for 60 participants both inside and outside of the property, significant renovations to the interior and exterior of the building as well as the property are necessary. This proposal also seeks to achieve a Net Zero Energy Design target and increase on site accessibility both inside and outside of the building (Exhibit C).

There are certain aspects of the project that are still undetermined (i.e. the size/design of the fence, the location of the security lighting/cameras, the design of the solar panels, etc.) that are drawn from the project cover letter and applicant concept plan/renderings (Exhibit C). Despite

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this, the applicant has provided detailed information that provides a reasonable understanding of the proposal. While interior alterations are also proposed, only alterations to the exterior of the property are subject to the *Ontario Heritage Act*. As such, the exterior is the focus of this pre-application report.

### **Alterations to the Heritage Building**

The property is prominently sited at the intersection of Rideau and Railway Street and is the only heritage property in the immediate vicinity. Currently, the property has an addition (built approximately between 1966 and 1978 according to the City's air photos) on the western side of the building and an associated parking lot further west. The building retains many period windows that have yet to be assessed by a qualified professional.

The proposal seeks to restore the heritage building by installing wooden doors, restoring the existing wooden period windows, and repairing the exterior masonry. The finalized location and method of installation for the proposed security and communications system is yet to be determined. The location of the interior/exterior kitchens, bathrooms and mechanical systems has not been determined. Once these locations have been proposed, potential impacts (like new building envelope openings) will be reviewed to ensure heritage attributes are conserved.

The proposal seeks to remove the westerly addition and replace it with a new two storey semi-circular addition and associated vestibule that will not exceed 45 square metres. The current proposal includes a 28.82 square metre addition, which will utilize a mass timber construction model, have a "[c]ombination of [n]atural [w]ood [c]ladding", and will have an asphalt shingle roof like the existing building, but with roof top solar panels (Exhibit C). The proposed 6.76 square metre vestibule will connect the semi-circular addition to the heritage building and will feature an accessible entrance. The semi-circular addition and vestibule will have large windows on both storeys that face north toward Railway Street to support a community sharing centre (or Gibanemindimin) on the first floor and a multi-purpose classroom on the second floor (Exhibit C).

### **Landscape Alterations to the Property**

Most of the proposed changes to this property are related to new structures, areas, vegetation, pathways and access routes that aim to maximize KNCLN's utilization of this property. Much of the property is proposed to be fenced in with three access gates. Specific details on the design, height and material of this fence and associated gates have not been provided at this time but do appear in the provided renderings (Exhibit C).

Along the front (eastern) façade of the property, the southern portion of the property envisions a terraced garden with an accessible ramp, one fence gate, a bench and condensers. The rendering depicts a solid wood fence and gate that is slightly taller than the building foundation, and a planter box. Along the northern portion another ramp, but in a semi-circular shape that

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connects to the sidewalk, is proposed along with bicycle parking and additional fencing and gate that delineates the parking lot area (Exhibit C).

Along the rear (western) elevation of the property, the southern portion is proposed to be completely enclosed by the proposed fence and includes what appears to be a flagstone path that connects to several features, including: an outdoor classroom characterized by benches; several other independent benches; a large play structure; a play area for young children; a location for a sweat lodge; and a shaded fire circle area. Details on the proposed benches, play structure, children play area and sweat lodge were not provided, but in the renderings some of the benches appear to lack back support and are stone. Information regarding the shade canopy was provided and forms a major component of this project. The canopy will have solar panels on the roof and will project past the northern wall of the heritage building. According to the provided renderings, the canopy will be supported by several wooden pillars and appears to have a similar roof to the semi-circular addition (Exhibit C). Along the rear (western) elevation of the property, the northern portion will also be completely enclosed by the proposed fence/gate and includes the upgraded parking lot and related structures. These structures include a garage area, storage shed and two EV charging stations, but related design details have not been provided. It is possible that the garbage area will feature an enclosure or screening, but this has not been confirmed (Exhibit C).

Preliminary concept plans, floor plans and renderings were prepared by CVS Architects. A cover page that provides additional design details and background information was also submitted by CVS Architects. A general description of the proposed works as well as the intended goal for the proposed design are included in this submission (Exhibit C).

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

### **Reasons for Designation/Cultural Heritage Value**

The property is designated under Part IV of the *Ontario Heritage Act* through Designation By-Law Number 8913 and was amended in 2013 through By-Law Number 2013-54.

"The main building on this property, known as the Depot School, is of design value for its high degree of craftsmanship and merit. These qualities are exhibited by the simple design of this rectangular limestone structure, which was influenced by the c. 1860s Province of Canada guideline for schools. This value is further supported by the main building's symmetrical fenestration; front-gable roof; and more decorative elements that are found primarily on the building's façade, including round-arched 6/6 windows; verge brackets, and an original 6-panel wood door with a fanlight transom and an ornate ashlar hood mould."

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“610 Montreal Street is of historical/associative value because it has direct connections to Kingston's early school system, the City's railway history, a former community known as Grand Trunk village, and a well-known architect, John Power.”

“The contextual value of this property is partly derived from its prominent location at the intersection of two main traffic arteries: Montreal and Railway Streets. The property helps to define this intersection and its adjacent viewplanes. The Depot School's visibility is enabled by the open spaces surrounding the building.”

“John Power's restrained design for the Depot School is consistent with the United Province of Canada's circa 1860 guidelines regarding the importance of natural light and adequate ventilation to an educational environment. The building is austere but dignified in keeping with its function, with architectural detail concentrated at the front.”

“The physical/design value is also supported by a number of decorative elements that complement the structure's otherwise austere appearance. Flush, cut-stone quoins line each corner of the façade.”

“The five façade window openings feature half-round arches and ashlar sills. Those on the outer bays contain 6/6 round-headed windows. The window above the entranceway features a round-headed window with semi-circular wood muntins in its upper sash. Together, the arched openings and eave brackets lend the building a slightly Italianate impression. Casement windows, each with moderate wood trim and a half-round transom in two pieces, are located behind each second-storey façade window. The inner window of the façade's centre bay is divided by a heavy wood mullion.

“610 Montreal Street has historical/associative value because it has direct connections with Kingston's early school system, the city's railway history, and a former community within Kingston that was known as Grand Trunk Village.”

“...[T]he late eighteenth and early twentieth centuries had many reform movements that pressed for social improvement through the physical transformation of the built environments. The Enlightenment's focus on the improvement of the human condition facilitated the development of new ideas about society and built form. As a result, the Depot School survives as an example of this thinking expressed through the form of a small institutional building.”

The relevant parts of Designation By-Law Number 8913 and the amending Designation By-Law Number 2013-54 can be found in Exhibit B.

### **Previous Approvals**

P18-031-025-2013 – New office sign on the front (eastern) lawn.

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P18-031-011-2014 – Construction of a barrier-free access ramp along the front (eastern) entrance.

P18-031-056-2014 – Installation of a new garage door and re-shingle garage.

P18-081-2022EA – Temporary alterations to address a damaged transom window on the front (eastern) façade.

P18-092-2022EA – Temporary alterations to install new camera and lighting equipment on the front (eastern) and back (western) elevations.

### **Pre-consultation Comments from Heritage Services**

The subject property is designated under Part IV of the Ontario Heritage Act in 1976 through By-Law Number 8913 and was amended in 2013 through By-Law Number 2013-54. The property is also subject to a Heritage Conservation Easement.

A heritage permit is necessary to review the potential impacts to the property's cultural heritage value.

The Master Plan indicates that the subject property requires further archaeological study. If a *Planning Act* application is required to support these works, archaeological clearance of the property will be required. Please provide copies of the assessment report(s) and correspondence from the Ministry of Citizenship and Multiculturalism to City Heritage Services staff, prior to any ground disturbance.

### **Comments from Department and Agencies**

The following internal departments have commented on this application and provided the following comments:

#### **Environmental Services:**

The programming of outdoor community space at a former commercial use is interpreted as a prohibited change of land use requiring a Record of Site Condition (RSC). Staff from the City's Environment Division have conducted preliminary studies and provided a remedial action plan to City of Kingston Facilities Management & Construction Services staff to be undertaken during construction. We will continue to work with the project team to initiate the plan and filing of the RSC. Any questions should be directed to Brodie Richmond, Manager, Environmental Operations & Programs.

#### **Engineering Services – Storm Water Review:**

A Stormwater Management Report prepared by a qualified individual will be required to describe current drainage conditions and post development conditions. No Quantity Control required for flows discharging to water body. Post development flows cannot exceed pre-development levels



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for any flows discharging to storm sewers. Quality Control must demonstrate an 80% TSS Removal. Stormwater management reporting should be completed in conformance with the City of Kingston Site Plan Control Guidelines and Appendix 1G: Design Standards – Storm Sewer System of the Subdivision Development Guidelines & Technical Standards January 30, 2014, as applicable and stamped by a professional engineer. An Environmental Conformance Approval may be required depending on the stormwater management methods chosen. Contact [engineering@cityofkingston.ca](mailto:engineering@cityofkingston.ca) for additional information when these details are finalized.

**Engineering Services – Noise Review:**

A noise study is required to address potential impacts on the outdoor living area and new addition of the proposed development due to stationary and transportation noise sources in the vicinity, the study is to be prepared by a qualified individual with experience in environmental acoustics and demonstrate compliance with NPC-300.

**Engineering Services – Traffic Review:**

A traffic memo/brief (signed by a professional engineer) must be provided by the developer to confirm the number of new trips (all modes of travel) to be generated versus existing conditions. The memo should also confirm the access points for the development and confirm that there will be no adverse impacts with the access points and Railway Street. The brief should also confirm there are no sight distance issues with site access onto Railway. Entrance should be relocated to the western limits of the property if possible.

**Kingston Hydro:**

A service request will be required for a service upgrade (if required)  
<https://utilitieskingston.com/Electricity/NewServices/ServiceRequest>

**Forestry Services:**

Tree Preservation Plan as per the guidelines at [www.cityofkingston.ca/trees](http://www.cityofkingston.ca/trees) will be required to address tree preservation concerns of both on-site and off-site (border) trees during construction/installation of building addition and landscape elements. Plan to be prepared by an ISA Certified Arborist.

**Utilities Kingston:**

No Comment.

**Building Services:**

A more thorough plans review will be conducted at time of building permit application. Fees provided are an estimate based on submitted documents and may change based on actual approved drawings, date of application and any exemptions or credits that may apply. An initial review of the current submitted documents yielded the following comments: (1) Building permit cost approximately \$4,515.50, DCs \$9,225.00, Impost Fees \$13,213.20; (2) Ensure minimum one barrier free entrance to building; (3) Design and review by an Architect and Professional Engineer(s) required; (4) Solar panels on roof(s) will require a separate permit at \$310.75 each; (5) Signs will require a separate building permit and may require heritage approval; (6) A fire

December 20, 2023

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alarm system may be required as per 3.2.4.1.(2)(f) as well as an annunciator panel; (7) Every building must face a street (or fire access route) in conformance with 3.2.5.5. (sent from 3.2.2.10.); (8) Ensure the travel distance to egress is not more than 15m; (9) Fire separations around elevator to conform to OBC Div B 3.5.3.3; (10) Fire hydrant location not currently indicated on site plan.

**Planning Services:**

The proposal will require site plan control approval, as non-residential development on a Collector Road. The proposed use of the property is permitted in accordance with the applicable UR5 zone of the Kingston Zoning By-Law. While additional details will be required to confirm zoning compliance of specific components, such as short-term bike space requirements, the location of the proposed addition complies with the Kingston Zoning By-Law.

**Consultation with the Heritage Properties Committee**

The Heritage Properties Committee was consulted on this application through the [DASH](#) system. The committee's comments have been compiled and attached as Exhibit E and have been provided to the applicant for their consideration.

**Existing Policy/By-Law:**

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

*Ontario Heritage Act*, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Citizenship and Multiculturalism)

City of Kingston Official Plan

By-Law Number 2023-38 Procedural By-Law for Heritage

Designation By-Law Number 8913, amended in 2013 through By-Law Number 2013-54

Heritage Easement Agreement enacted through By-Law Number 2013-77

**Notice Provisions:**

None

**Accessibility Considerations:**

None

December 20, 2023

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**Financial Considerations:**

None

**Contacts:**

Joel Konrad, Manager, Heritage Planning, 613-546-4291 extension 3256

Phillip Prell, Intermediate Planner, Heritage Planning, 613-546-4291 extension 3219

**Other City of Kingston Staff Consulted:**

None

**Exhibits Attached:**

Exhibit A Mapping Information

Exhibit B Designation By-Law Number 8913 & Amending By-Law Number 2013-54

Exhibit C Project Cover Letter, Concept Plan, Floor Plans & Renderings

Exhibit D Site Visit Photos

Exhibit E Correspondence Received from the Heritage Properties Committee

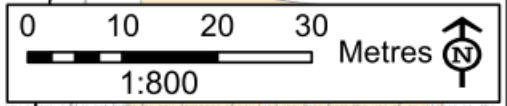
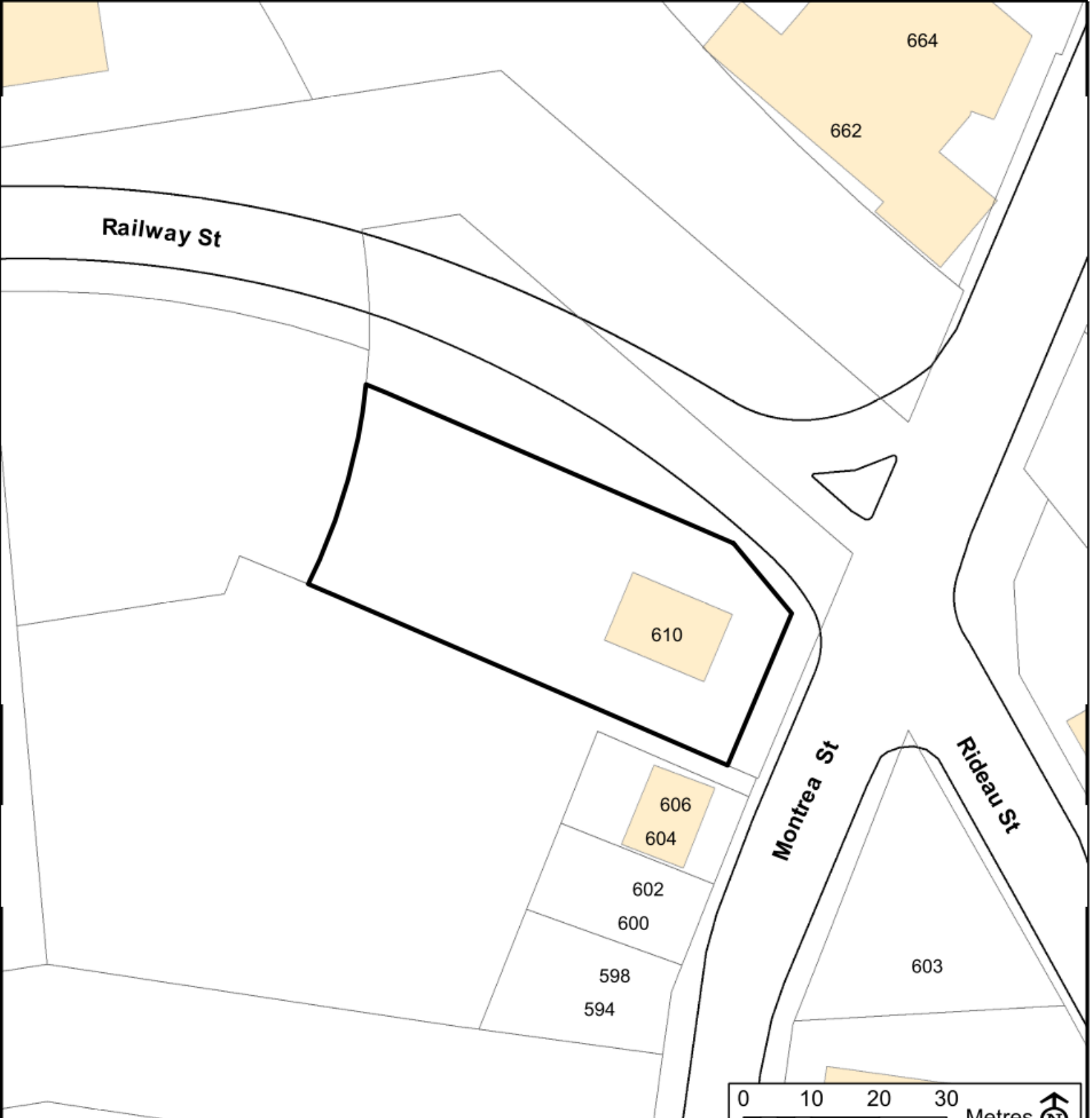
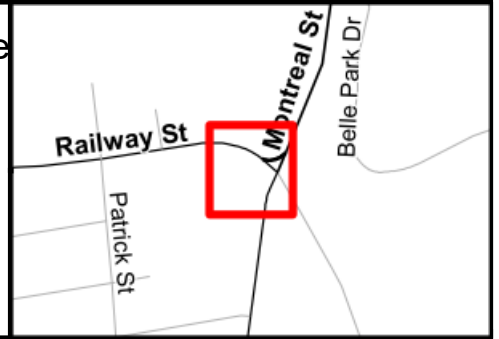


Kingston Heritage Properties Committee

Key Map

Address: 610 Montreal Street  
File Number: P01-002-2023

 Subject Lands



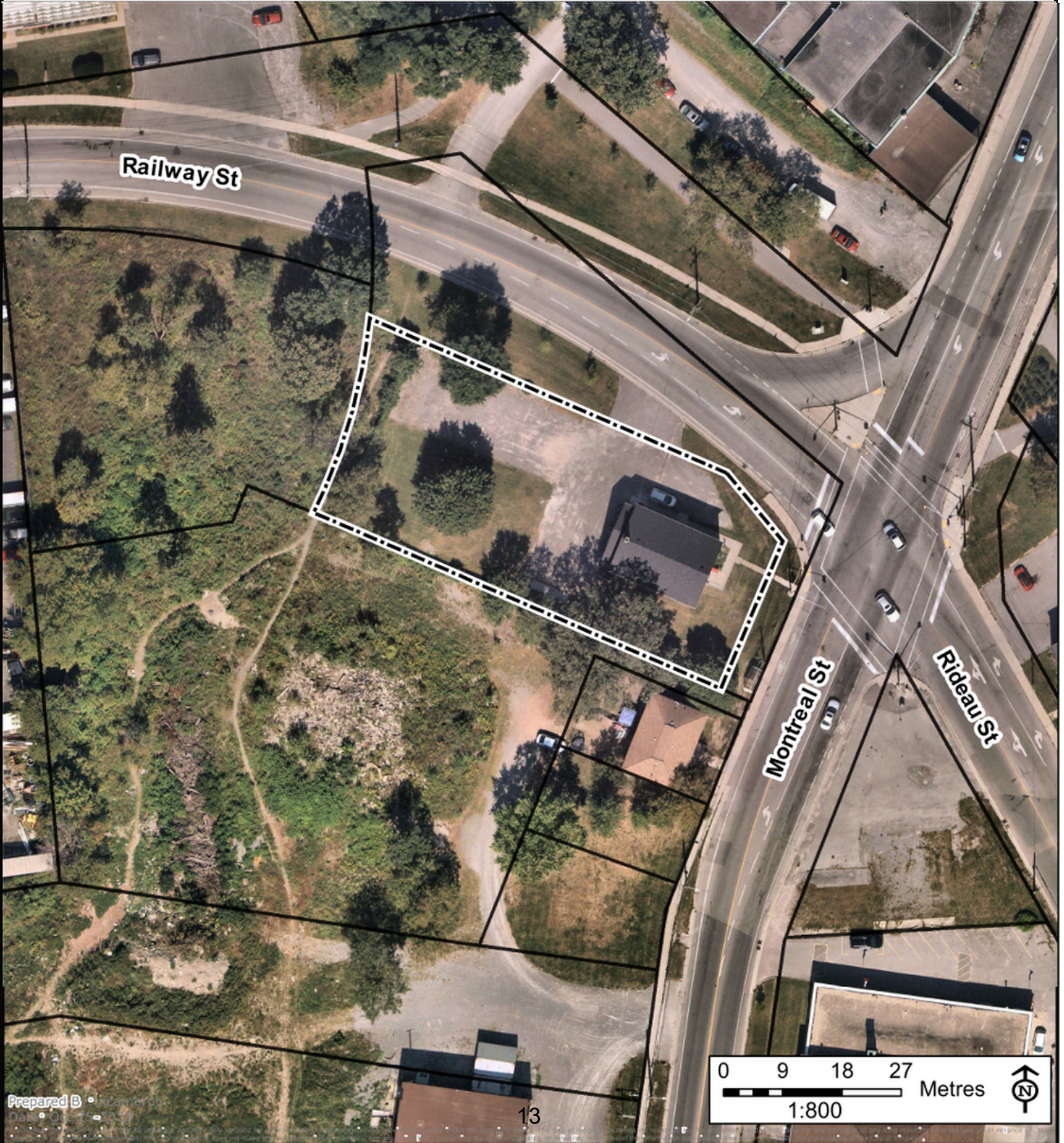




# Kingston Heritage Properties Committee Neighbourhood Context (2023)

Address: 610 Montreal Street  
File Number: P01-002-2023

- Subject Lands
- Property Boundaries
- Proposed Parcels





APPROVED AS TO FORM

DATE

September 13, 1976

Levstam

CITY SOLICITOR

Report No. 75  
Clause 2

## BY-LAW NO. 8913

A BY-LAW TO DESIGNATE THE GRAND TRUNK RAILWAY TERRACE AND THE DEPOT SCHOOL DAY CARE CENTRE TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST

PASSED: September 13th, 1976.

WHEREAS Section 29 of The Ontario Heritage Act, 1974, provides that the Council of a municipality may, by by-law, designate a property within the municipality to be of historic or architectural value or interest;

AND WHEREAS notice of intention to designate the Grand Trunk Railway Terrace was served on the owner of the property and The Ontario Heritage Foundation on July 20th, 1976, and was published in the Whig-Standard on July 20th, 27 and August 3rd, 1976;

AND WHEREAS notice of intention to designate the Depot School Day Care Centre was served on the owner of the property and The Ontario Heritage Foundation on July 28th, 1976, and was published in the Whig-Standard on July 28th, August 4th and 11th, 1976;

AND WHEREAS no objections were received against the designation of the Grand Trunk Railway Terrace and the Depot School Day Care Centre as a result of the aforementioned notices;

THEREFORE the Council of the Corporation of the City of Kingston enacts as follows:

1. That the following properties be and are hereby designated to be of historic or architectural value or interest:

(1) GRAND TRUNK RAILWAY TERRACE - 1-3-5 Cassidy Street

Built: c.1854

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part of Lot 5 (sometimes referred to as Lot 7) in the Concession West of the Great Cataraqui River, as described in Instrument #272415.

Owner: St. Lawrence Youth Association

CK. BL#8913

- 3 -

(1) GRAND TRUNK RAILWAY TERRACE - 1-3-5 Cassidy Street (cont'd)

Reason for Designation: (cont'd)

There are gable end parapets on this central section with heavily moulded ashlar corbel stones and circle corbelled stone end chimneys.

In the flanking sections the extreme inner bay has a door, the central bay a pair of windows and the extreme outer bay has one window, although it appears to have originally been a door. The second storey is blank except for a pair of windows in the central bay. The sash have three by three lights on the second storey and three by four on the first.

All the corners of the facade have quoining and all the window surrounds are quoined; all the lintels are bevelled with ashlar band borders. The windows that are in pairs are separated by a single vertical block of stone. The base course has an ashlar band border at the top and all the courses below it are projected. On either flanking gable end is a corbelled stone chimney, smaller than the two central ones. There is an ashlar sill course around the entire building. The end walls are blank.

There are three doors in the rear wall, all recessed and a slightly irregular pattern of fenestration. There are eight windows on the second and nine on the first; of these latter three appear to have been intended for doors since the quoined surrounds continue below the sill right to the base course. All of the window surrounds are the same as those on the facade.

There are three modern windows on the second storey which lead onto metal fire escapes, the others on that storey have three by three lights; the ones on the first have three by four lights.

This plain stone terrace is somewhat dignified by the central projection - a common feature for late Georgian terraces - and the embellished entranceway that includes Greek Revival consoles.

The facade's well-balanced arrangement of fenestration and doors has been left untouched throughout the years.

(2) DEPOT SCHOOL DAY CARE CENTRE - 610 Montreal Street

Built: 1872-73

Architect: John Power

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Lot 198, Registered Plan C-22, as described in Instrument #196423.

Owner: The Corporation of the City of Kingston



C.K. BL# 8913

- 4 -

(2) DEPOT SCHOOL DAY CARE CENTRE - 610 Montreal Street (cont'd)

Reason for Designation:



Significance: From the time the Grand Trunk Railway came to Kingston (1854) the inhabitants of the Kingston station area petitioned the Kingston Public School Board for a school. One finally opened in an empty freight shed in 1864 with fifty students and one teacher. Conditions were not ideal and repeated requests resulted in this small school being erected in 1872-73.

The property was obtained from John Frazer and John Duff and the Board requested John Power to submit plans. He did so in the summer of 1872 and construction began under Isaac Newlands, mason. Plans were slightly changed in the spring of 1873 before the upper storey was completed to include an apartment for a caretaker.

Miss Harriet Keys was the first teacher when the school opened in August, 1873, with a salary of \$200. per annum. Then known as Frontenac School, its name was changed to the Depot School after 1896 when the present Frontenac School was built. The City of Kingston obtained the property in 1970 from the Frontenac County School Board and now operates a Day Care Centre here.

This two-storey, three bay, hammer-dressed stone building with flush quoining has a central six-panelled door whose transom is decorated with an ashlar hood mould with key-stone and label-stops.

The transom and all the windows on the facade are round-headed; all the windows in the building appear to have their original sash.

The north and south walls are both regularly fenestrated with twelve paned double-hung sashes; the central window on the first storey of the north wall is blocked; the west bay of this same wall contains a doorway.



C.K. BL#8913

- 5 -

(2) DEPOT SCHOOL DAY CARE CENTRE - 610 Montreal Street (cont'd)

Reason for Designation: (cont'd)

The west wall is covered by a two-storey, shallow, gabled concrete addition.

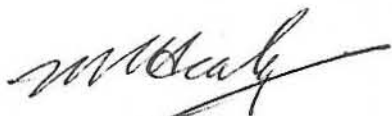
The roof has its gable end over the facade and there is a brick chimney at the west end.

This vernacular styled building has the traditional Georgian plan facade, adapted to a gable end wall - after the Gothic Revival fashion - with a strong presence of Italianate windows.

This by-law shall come into force and take effect on its passing.

GIVEN THREE READINGS AND FINALLY PASSED the 13th day of September,

1976.



DEPUTY CITY CLERK



MAYOR

**BY-LAW NO. 2013-54**

**A BY-LAW TO AMEND BY-LAW 8913, TO REFLECT THE CULTURAL HERITAGE VALUE AND INTEREST OF 610 MONTREAL STREET, ALSO KNOWN AS THE DEPOT SCHOOL, PURSUANT TO THE PROVISIONS OF THE ONTARIO HERITAGE ACT (R.S.O. 1990, Chapter O.18)**

**PASSED:** March 5, 2013

**WHEREAS** Section 30 of the Ontario Heritage Act, R.S.O. 1990, Chapter O.18 authorizes the Council of a Municipality to update designation by-laws for real property;

**WHEREAS** the description of 610 Montreal Street does not meet the current requirements of the Ontario Heritage Act;

**WHEREAS** the cultural heritage values of 610 Montreal Street identified within the Building Conservation Master Plan, which was accepted by Council on October 19, 2004, are not reflected within the existing designation by-law;

**WHEREAS** Council has consulted with its Municipal Heritage Committee and has recommended approval of the amendment to the designation by-law for 610 Montreal Street; and

**WHEREAS** Council has served Notice of Proposed Amendment of a Designation By-law on the property owners and the Ontario Heritage Trust, and published this notice in the Kingston Whig-Standard, which is a newspaper having general circulation in the Municipality.

**NOW THEREFORE BE IT RESOLVED**, the Council of The Corporation of the City of Kingston hereby **ENACTS** as follows:

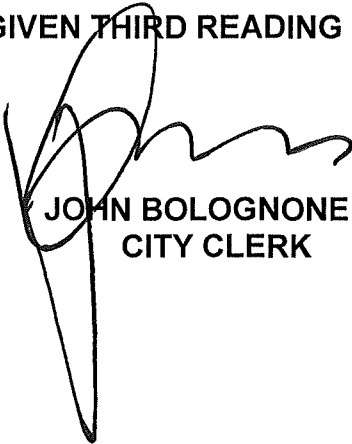
1. To delete both Schedule 'A' and the Reasons for Designation for 610 Montreal Street as found within By-law 8913 and replace them with the document hereto attached as Schedule "A" and forming part of this By-law;
2. For the purpose of interpretation the term 'Maintenance' on this property will include the following:

Maintenance is considered routine, cyclical, non-destructive actions, necessary to slow the deterioration of a historic place. It entails the following actions: periodic inspection; general property cleanup; general gardening and repair of landscape features; replacement of glass in broken windows; minor exterior repairs (including replacement of roofing material where there is little or no change in colour or design); repainting in the same or similar colour; any efforts necessary to safeguard the property from illegal use and entry; repointing areas of wall space under 1.5 square metres; and landscaping works on the yard and gardens.

3. A copy of the designating by-law shall be registered against the property affected in the proper land registry office. The City Clerk is hereby authorized to have a copy of this By-law served on the owner (City of Kingston) of the land described in Schedule "A" hereto and on The Ontario Heritage Trust and to cause notice of the passing of this by-law to be published in the Kingston Whig-Standard.
4. The City reserves the right to install a designated property plaque or interpretive panel.
5. This By-Law shall come into force and take effect on the date of its passing.

**GIVEN FIRST AND SECOND READING** February 19, 2013

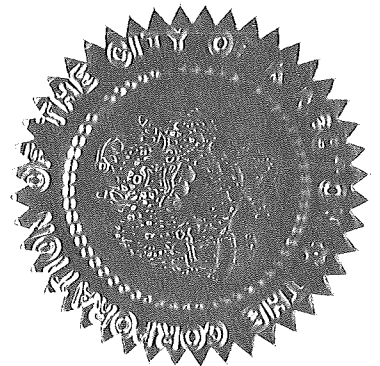
**GIVEN THIRD READING AND PASSED** March 5, 2013



**JOHN BOLOGNONE**  
**CITY CLERK**



**MARK GERRETSEN**  
**MAYOR**



**Schedule "A"**  
**Description and Reasons for Designation**  
**610 Montreal Street, also known as the Depot School**

**Legal Description**

Civic Address: 610 Montreal Street  
Lot/Concession: Lots 197-198, Plan C22 and Part Lot 196, Plan C22, City of  
Kingston, being Part of PIN 36053-0005(LT)  
Property Number: 101104010003600

**Description of Property**

610 Montreal Street (Lots 197-198, Plan C22 and Part Lot 196, Plan C22, City of Kingston, being Part of PIN 36053-0005(LT)) is located at the corner of Montreal and Railway Streets in Kingston. The main building on this property, known as the Depot School, is of design value for its high degree of craftsmanship and merit. These qualities are exhibited by the simple design of this rectangular limestone structure, which was influenced by the c. 1860s Province of Canada guideline for schools. This value is further supported by the main building's symmetrical fenestration; front-gable roof; and more decorative elements that are found primarily on the building's façade, including round-arched 6/6 windows; verge brackets, and an original 6-panel wood door with a fanlight transom and an ornate ashlar hood mould. 610 Montreal Street is of historical/associative value because it has direct connections to Kingston's early school system, the City's railway history, a former community known as Grand Trunk village, and a well known architect, John Power. The contextual value of this property is partly derived from its prominent location at the intersection of two main traffic arteries: Montreal and Railway Streets. The property helps to define this intersection and its adjacent viewplanes. The Depot School's visibility is enabled by the open spaces surrounding the building.

**Statement of Cultural Heritage Value/Statement of Significance:**

*Design/Physical Values*

Built to a design by John Power in 1872-73, the main building located on the 610 Montreal Street property has design/physical value because it displays a high degree of craftsmanship and artistic merit.

John Power's restrained design for the Depot School is consistent with the United Province of Canada's circa 1860 guidelines regarding the importance of natural light and adequate ventilation to an educational environment. The building is austere but dignified in keeping with its function, with architectural detail concentrated at the front. As a result, this 2-storey, regularly-coursed limestone structure is simple and rectangular in its overall design. It has symmetrical fenestration, a steeply-pitched front-gable roof, and a limestone water table extending around its base. A short and simple brick chimney extends from the apex of the building's rear gable end. Each storey of the building's south elevation contains three regularly-spaced 6/6 rectangular windows. Each window has a flat arch, stone voussoirs, and rests on an ashlar sill. Corresponding openings are found on the north elevation, although the middle window on its first storey was in-filled with stone, circa 1950. A wood entranceway door, with a large 6-piece transom and three tall rectangular lights, occupies the west bay on the first storey. The second-storey windows of each side elevation contain inner 1/1 casement windows with moderate wood trim. A narrow, gable-roofed concrete block addition projects from the building's rear (west) elevation. This addition is of no heritage value.

The physical/design value is also supported by a number of decorative elements that complement the structure's otherwise austere appearance. Flush, cut-stone quoins line each corner of the façade. The original wood entranceway door, centred along the façade, contains six recessed panels and older hardware. The door is topped by a fanlight transom with three wood radials, and a half-circle ashlar hood mould. The mould contains a dominant, vermiculated, keystone, and finely-carved label stops. The five façade window openings feature half-round arches and ashlar sills. Those on the outer bays contain 6/6 round-headed windows. The window above the entranceway features a round-headed window with semi-circular wood muntins in its upper sash. Together, the arched openings and eave brackets lend the building a slightly Italianate impression. Casement windows, each with moderate wood trim and a half-round transom in two pieces, are located behind each second-storey façade window. The inner window of the façade's centre bay is divided by a heavy wood mullion.

#### *Historical/Associative Values*

610 Montreal Street has historical/associative value because it has direct connections with Kingston's early school system, the city's railway history, and a former community within Kingston that was known as Grand Trunk Village. The Grand Trunk Railway opened Kingston's first train station in 1856. It was located a little more than 600 metres north of 610 Montreal Street. However, this location was also three kilometres from the city's centre, and well-outside its populated areas. As a result of this relatively distant location, a distinct community, known as Grand Trunk Village, developed around the station and supported services such as taverns and Inns. Between 1864 and 1872 the children of this community attended school in an abandoned freight shed. The need for adequate facilities resulted in the construction of the present building. Land for the school was obtained by the Kingston School Board in 1872, and the building was completed the following year. The building was originally known as the Frontenac School. In 1896, when a second school of that name was erected, it became known as the Depot School. The Depot School operated until 1970, when the building was

purchased by the City of Kingston and converted to a day care facility. It is currently used for office space.

The Depot School building has further historic/associative value in that it was designed by a well known Kingston architect John Power, and was built to reflect contemporary thinking about the relationship between architecture and human behaviour. John Power of Devonshire, England, came to Kingston in 1846 and died in 1882, aged 66. He was the City of Kingston's architect, associate architect for the Kingston Psychiatric Hospital, and designed a number of significant buildings in the City, including the dome additions to City Hall, the Hotel Belvedere, the Hochelaga Inn, the McIntosh Castle and the Masonic Building. Power's design, and the circa 1860 Province of Canada guidelines for schools, reflected contemporary beliefs that symmetry, proportion in design, importance of natural light, and adequate ventilation would be translated into a student's outlook and demeanour. Indeed, the late eighteenth and early twentieth centuries had many reform movements that pressed for social improvement through the physical transformation of the built environments. The Enlightenment's focus on the improvement of the human condition facilitated the development of new ideas about society and built form. As a result, the Depot School survives as an example of this thinking expressed through the form of a small institutional building.

#### *Contextual Values*

610 Montreal Street has contextual value because it is important in defining, maintaining, and supporting the character of its surrounding area. The property occupies a prominent location at the corner of two major traffic arteries: Montreal Street and Railway Street. Montreal Street in particular is a heavily-travelled route which links the downtown Kingston area with Highway 401. The Depot School building is highly visible from both streets and their intersection. This visibility is enabled by the open areas that surround the building, which emphasize the history of the property as a school and a day care facility, and play an important role in maintaining the character of the building.

### **Character Defining Features/Heritage Attributes**

#### *Physical/Design Attributes:*

- Simple, rectangular limestone building with symmetrical fenestration, short brick chimney and limestone water table
- Gable roof with verge brackets
- Flush, cut-stone quoins
- Central front entrance with 6-panel wood door, fanlight transom, and ornate hood mould
- 6/6 façade windows with half-round arches, ashlar sills, and round-headed upper sashes
- 6/6 rectangular windows with ashlar sills and stone voussoirs on north and south elevations

*Historical/Associative Attributes:*

- Erected to service Grand Trunk Village, Kingston, which developed around the Grand Trunk Railway station.

*Contextual Values:*

- Prominent location at the intersection of two main traffic arteries
- Highly visible from the Montreal—Railway Street intersection and adjacent viewplanes
- Open spaces emphasize the history of the property, and play an important role in supporting the character of the 610 Montreal Street building

<b>Attention:</b>	Heritage Planning	<b>Date:</b>	October 16, 2023
	City of Kingston	<b>Items/pages:</b>	3 pages
<b>Street Address:</b>	610 Montreal Street	<b>From:</b>	Camille Lewis
<b>City, Province:</b>	Kingston, ON	<b>CSV Project No.:</b>	2023-0330
<b>Postal Code:</b>	K7K 3J2		

Transmitted for:  Comment  Approval  Distribution  Action  Information  As Requested

Via:  Facsimile  E-mail  Courier  Mail  By Hand

**MESSAGE:**

**HERITAGE PROJECT OVERVIEW**

**Name of Property**

610 Montreal Street  
(Formerly the Depot School)

**Date of Construction**

January 1, 1872 – January 1, 1873

**Heritage Designations**

Individually Designated property, Part IV of the Ontario Heritage Act (1976)  
Listed on the Canadian Register (2009)

**Project Description**

The project entails fully renovating and rehabilitating this heritage building Designated under Part IV of the Ontario Heritage Act and Listed on the Canadian Register.

The scope of work includes: completely reconceptualizing the site to allow for outdoor programming; the interior and exterior rehabilitation of the heritage building; demolition of the existing addition; and the design and construction of a small addition (max 45m<sup>2</sup>), to expand the Kingston Native Centre and Language Nest’s indoor programming. Following both non-destructive and invasive site investigations of the heritage limestone mass masonry walls, the City of Kingston must determine the masonry scope of work for the project between either extensive repairs as part of this project, or deferred maintenance to be completed in stages.

The two-storey limestone building located at 610 Montreal Street in Kingston, ON was originally constructed from 1872 to 1873 as the Depot School. Presently, The Kingston Native Centre and Language Nest (KNCLN) leases the building from the City of Kingston. KNCLN’s passion and vision is to lead the resurgence of Indigenous languages in Kingston and support its Indigenous population through community outreach programs by providing cultural spaces amenable to teaching and celebrating traditional practices and craftsmanship. A collaborative design process will be key, where KNCLN is included and consulted through all stages of the design process. The renovated indoor and outdoor spaces shall allow for 60 occupants.



There is an overarching mandate to significantly improve the existing building's energy efficiency. Net Zero Energy Design is the target, where all existing natural gas services shall be abandoned, and 100% Electrical Technology used in its place. If Net Zero Energy cannot be attained, an 80% reduction in energy consumption or better is acceptable. Other sustainability initiatives involve insulating the exterior heritage stone walls; performing envelope upgrades; restoring heritage wood windows; introducing interior storm windows; and exploring the use of photovoltaic technologies.

Improving interior and exterior accessibility is a key focus in the project scope. This will be achieved by: accessible parking; access ramps on site; a new barrier-free building entrance; barrier-free washroom facilities; and the introduction of a LULA lift to provide full accessibility to all floors and spaces.

### Special Funding

A major source of project funding will be a grant received from *Green and Inclusive Community Buildings* (GICB). To meet the guidelines of the GICB grant, the new addition cannot have a footprint greater than 30% of the existing building area which has been calculated as 45m<sup>2</sup>.

### Project Scope

- Two (2) new Electric vehicle (EV) chargers.
- Security and Communications design including a camera, intercom system, intrusion system, exterior security lighting and fencing.
- Large windows in the new addition providing visual connection to nature capable of bringing nature indoors.
- A universal washroom on the ground floor and an accessible washroom on the Second Floor.
- Re-designed floor plans to allow for open and flexible spaces with sightlines to all areas.
- A residential grade kitchen to host Indigenous cooking programs.
- Family-focused spaces with childcare, and youth friendly spaces.
- Spaces for intergenerational programming with different levels, circles. Seating for Elders and dynamic space for movement and song.
- A Gibanemindimin, sharing centre, stocked with staple supplies for the community.
- Group gathering spaces.
- Staff offices.
- Storage.
- LULA Lift.
- Building automation system (BAS) for major equipment (Johnson Controls Facility Explorer server platform).
- Fully accessible entrance.
- Outdoor children's area.
- Gardens.
- Outdoor gathering space and fire circle.
- Shade structure with photovoltaic panels.

- Addition with photovoltaic panels on roof.

**Proposed Materiality**

Heritage Building

- Light frae wood construction (interior)
- Wood dors (interior and exterior)
- Porcelaiile and hardwood flooring (interior)
- Gypsum Cilings

Proposed Additio

- Mass timer construction
- Combaiaile of Natural Wood Cladding
  - Weahered wood plank (cedar, pine, spruce, etc.)
  - Chared wood (Shou Sugi Ban) siding (cedar, pine, spruce, etc.)
  - Woo accents (warm tones)
- Asphalt sngle roofing (to match heritage building)

<u>CC.:</u>	Cameron Burns	ccburns@cityofkingston.ca
	Jeff Rempel	jrempel@cityofkingston.ca
	Darryl Hood	hood@csv.ca
	Elizabeth Farrell	farrell@csv.ca
	Yigit Cuhacibasi	cuhacibasi@csv.ca





Rideau Heights  
Montreal Street + Railway Street





Existing heritage building with addition, and parking lot on site.  
View from Railway Street looking South-East



Existing heritage building exterior,  
view from Montreal Street



Existing addition exterior



Existing addition interior



Second floor office  
and multipurpose area  
(Top and bottom photos)



Ground floor main entrance



Ground floor multipurpose area







**A2.05** Kingston Native Centre + Language Nest | PERSPECTIVE VIEW

1 : 100 | 17/10/2023

**CSV ARCHITECTS**

sustainable design · conception écologique





**A2.06** Kingston Native Centre + Language Nest | PERSPECTIVE VIEW

1 : 100 | 17/10/2023

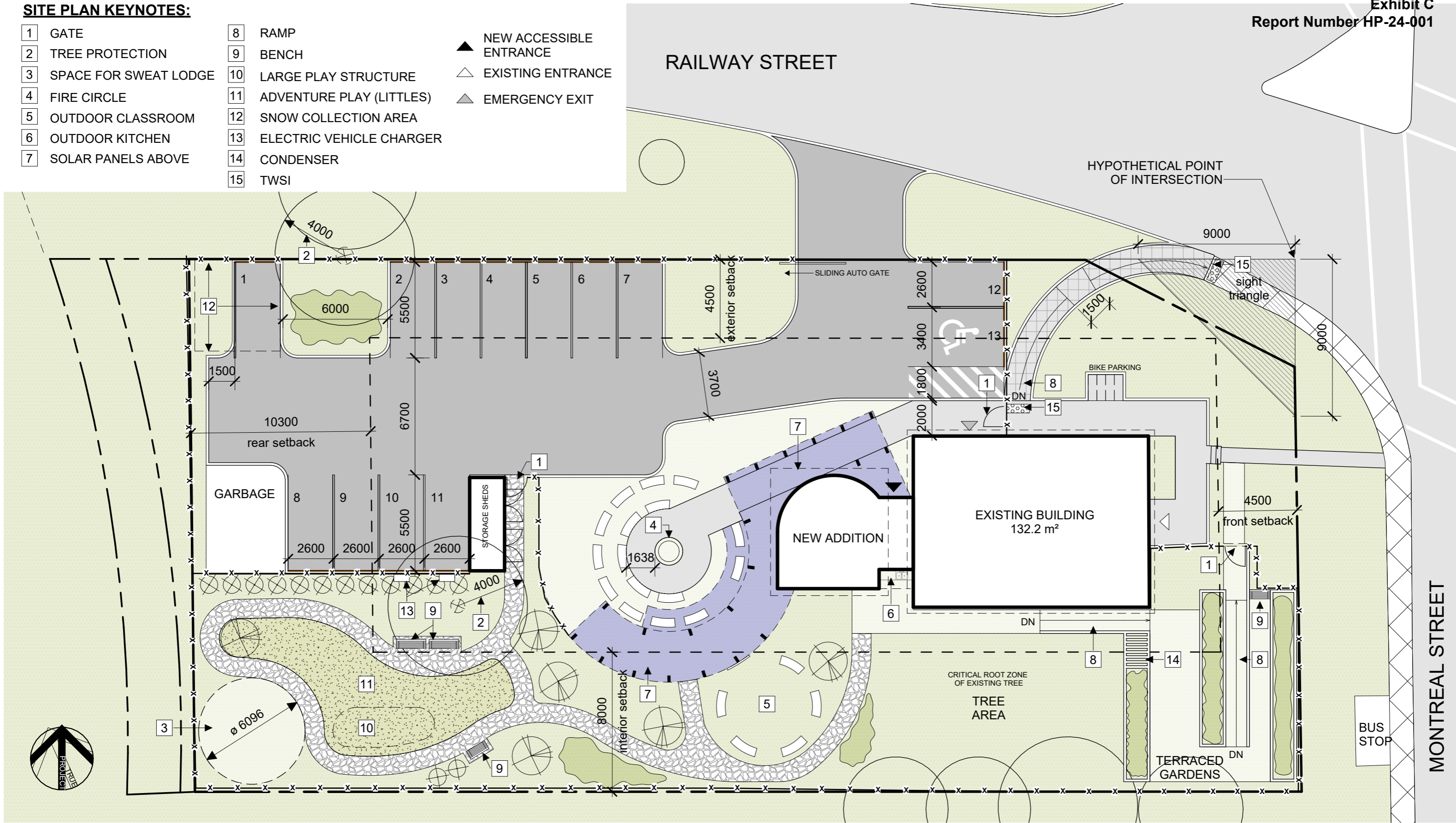
**CSV ARCHITECTS**

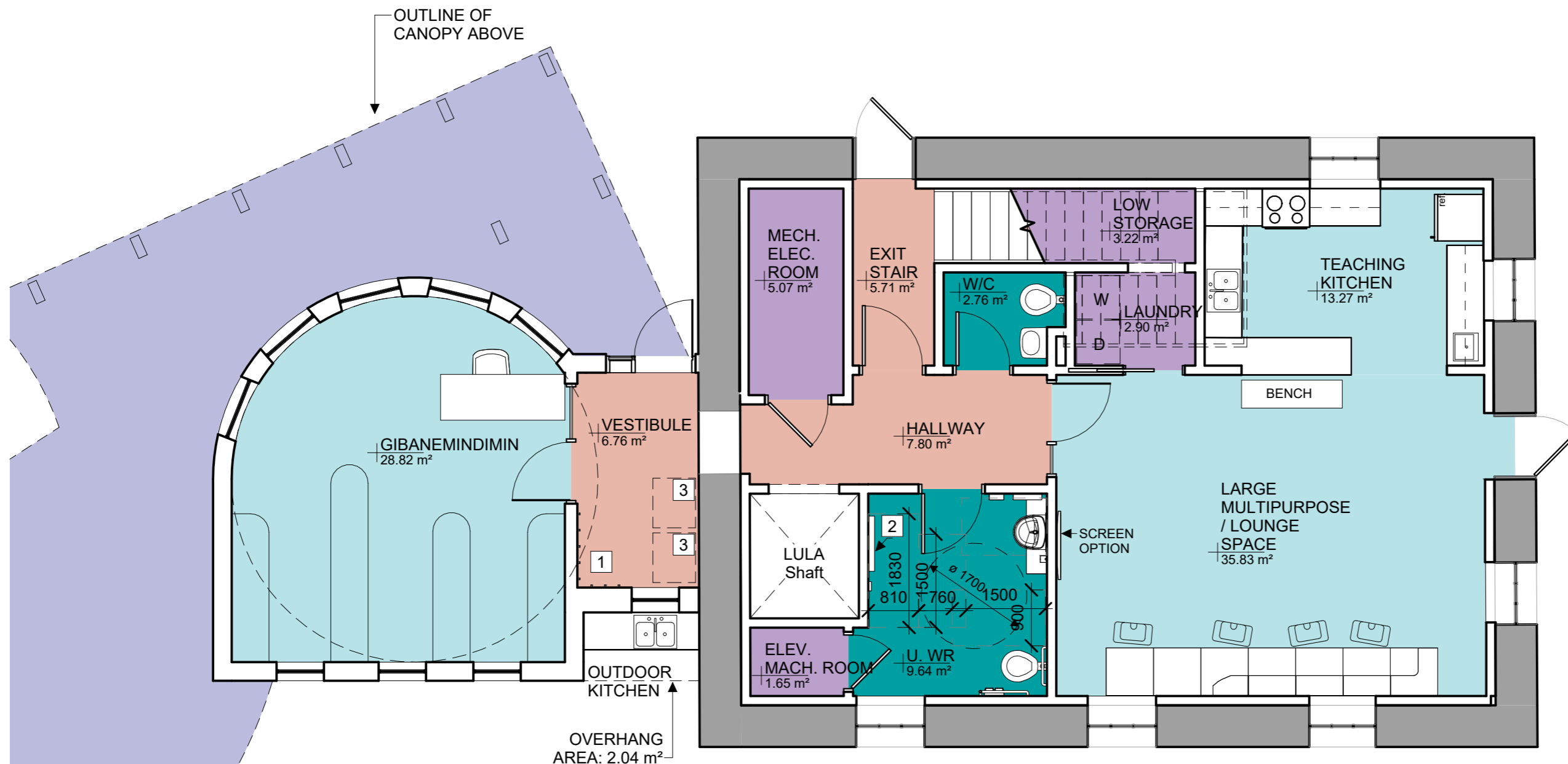
sustainable design · conception écologique



**SITE PLAN KEYNOTES:**

- 1 GATE
- 2 TREE PROTECTION
- 3 SPACE FOR SWEAT LODGE
- 4 FIRE CIRCLE
- 5 OUTDOOR CLASSROOM
- 6 OUTDOOR KITCHEN
- 7 SOLAR PANELS ABOVE
- 8 RAMP
- 9 BENCH
- 10 LARGE PLAY STRUCTURE
- 11 ADVENTURE PLAY (LITTLES)
- 12 SNOW COLLECTION AREA
- 13 ELECTRIC VEHICLE CHARGER
- 14 CONDENSER
- 15 TWSI
- ▲ NEW ACCESSIBLE ENTRANCE
- △ EXISTING ENTRANCE
- ▲ EMERGENCY EXIT





**Areas**  
Existing Building Footprint: 132.12 m<sup>2</sup>

Allowed Addition Calculation:  $132.12 \text{ m}^2 + 20.12 \text{ m}^2 = 152.24 \text{ m}^2$   
(GICB)  $29.9\% = 45.52 \text{ m}^2$

Addition Footprint (Proposed):  
Ground Floor: 42.42 m<sup>2</sup>  
Second Floor: 45.04 m<sup>2</sup>



**LEGEND**

- Circulation
- Common Facilities
- Community Space
- Utilities

**KEYNOTES**

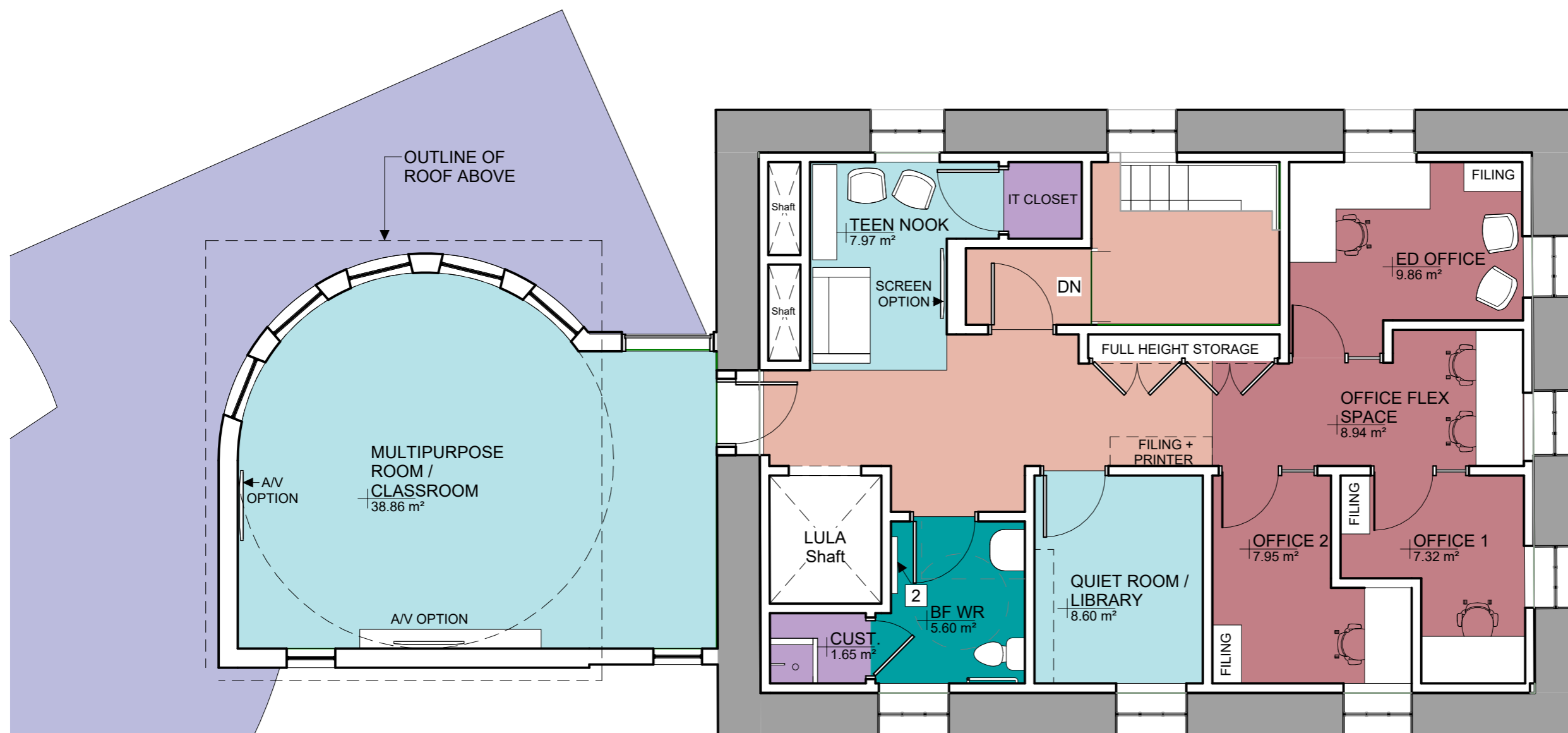
- 1 COAT HOOKS
- 2 BABY CHANGE TABLE
- 3 STROLLER PARKING

**A2.03 Kingston Native Centre + Language Nest | GROUND FLOOR CONCEPT**

1 : 75 13/10/2023

**CSV ARCHITECTS**

sustainable design · conception écologique



**Areas**  
Existing Building Footprint: 132.12 m<sup>2</sup>

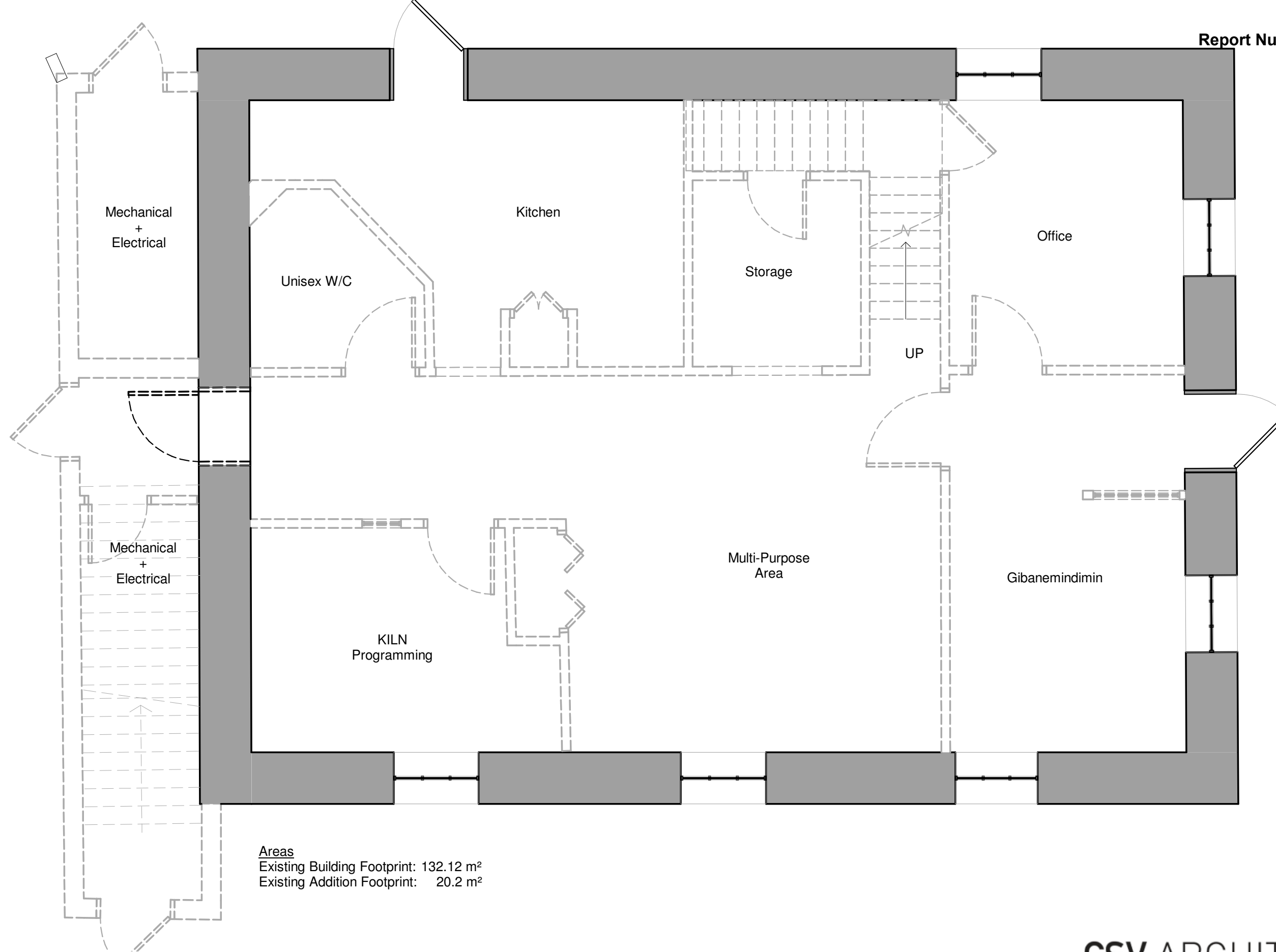
Allowed Addition Calculation:  $132.12 \text{ m}^2 + 20.12 \text{ m}^2 = 152.24 \text{ m}^2$   
(GICB) 29.9% = 45.52 m<sup>2</sup>

Addition Footprint (Proposed):  
Ground Floor: 42.42 m<sup>2</sup>  
Second Floor: 45.04 m<sup>2</sup>



**LEGEND**

- Circulation
  - Common Facilities
  - Community Space
  - Utilities
  - Work Environment
- KEYNOTES**
- 1 COAT HOOKS
  - 2 BABY CHANGE TABLE
  - 3 STROLLER PARKING

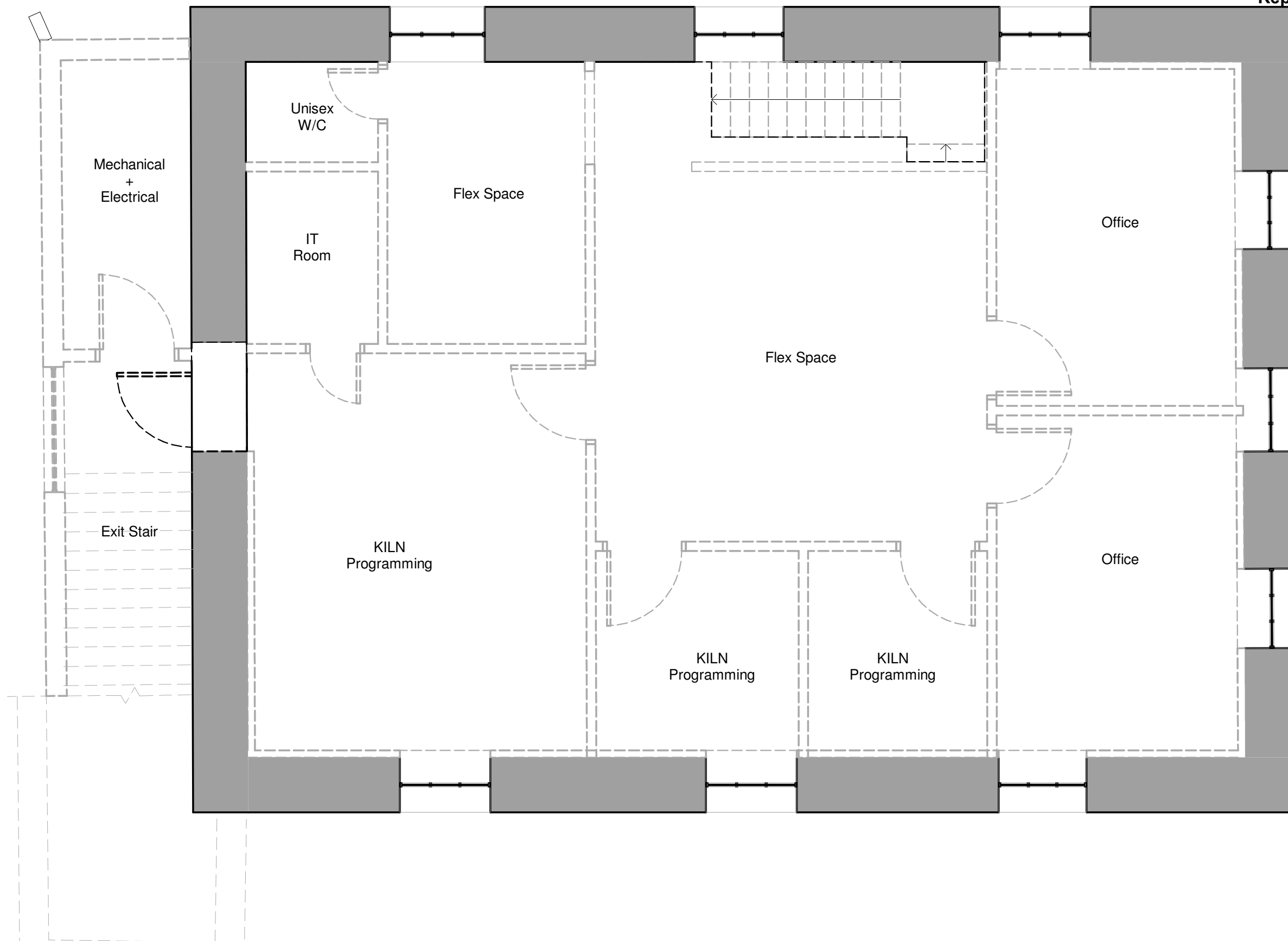


**D2.01** Kingston Native Centre + Language Nest | GROUND FLOOR EXISTING

1 : 50 | 12/09/2023

**CSV ARCHITECTS**

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Staff Site Visit 11-7-23:























# Kingston Heritage Properties Committee

## Summary of Input from Technical Review Process

### P01-002-2023

Committee Members	Comments Enclosed	No Comments Provided	No Response Received
Councillor Glenn			X
Councillor Oosterhof			X
Jennifer Demitor			X
Gunnar Heissler	X		
Alexander Legnini			X
Jane McFarlane			X
Ann Stevens	X		
Peter Gower		X	



where history and innovation thrive

City of Kingston  
216 Ontario Street  
Kingston, Ontario  
Canada, K7L 2Z3

Website: [www.cityofkingston.ca](http://www.cityofkingston.ca)

TTY: Dial 613-546-4889

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Date:	October 24, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Ann Stevens
Application Type:	Pre-Application
File Number:	P01-002-2023
Property Address:	610 Montreal Street

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Description of Proposal:

Proposal to redesign the subject property including the removal of the modern westerly addition to support a purpose built design for the Kingston Native Centre and Language Nest. This redesign will entail restoring the exterior of the heritage building as well as building a new semi circular addition with a new canopy (with solar panels above), fire circle, landscaping, fencing, and various associated structures elsewhere on the property. Interior alterations are also anticipated including a new elevator, kitchen, etc. While the interior is not designated under the Ontario Heritage Act, interior alterations that could impact the exterior necessitate review via a heritage permit.

Comments for Consideration on the Application:

I am generally supportive of this application as it will bring new life to that corner and help support our Indigenous people here.

Recommended Conditions for the Application:



City of Kingston  
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Kingston, Ontario  
Canada, K7L 2Z3

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Date:	November 7, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Gunnar Heissler
Application Type:	Pre-Application
File Number:	P01-002-2023
Property Address:	610 Montreal Street

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Description of Proposal:

Proposal to redesign the subject property including the removal of the modern westerly addition to support a purpose built design for the Kingston Native Centre and Language Nest. This redesign will entail restoring the exterior of the heritage building as well as building a new semi circular addition with a new canopy (with solar panels above), fire circle, landscaping, fencing, and various associated structures elsewhere on the property. Interior alterations are also anticipated including a new elevator, kitchen, etc. While the interior is not designated under the Ontario Heritage Act, interior alterations that could impact the exterior necessitate review via a heritage permit.

Comments for Consideration on the Application:

We start with a heritage building: we remove some alterations that are offensive to the heritage architecture; we assign the use of the building to the native american community for indigenous language education. Aside from restoration this undertaking is to provide additions as required for the program. The proposed design is not complementary with the heritage architecture of the building and nor is reflective of the native american culture.

In this period of reconciliation would it not be appropriate to recognize the two cultural streams in the design of the building elements: old and new?

The amount of emphasis that has been given to solar energy capture compromises the available energy for passive climate enhancement of the outside play, educational, and recreational areas. The area that would be shielded by the proposed Lower 7 solar energy collectors would significantly compromise it as outdoor program space.



Recommended Conditions for the Application:

Consideration should be given profile indigenous culture in a respective partnership magnitude. Correct the past by making the addition as indigenous american as the existing is european colonial.

Provide something substantial from native american culture to act as a counter point to the heritage building.

Enhance the utility of the outdoor program space using wind, light, solar, rain to the fullest for most of the year; if solar energy is so important consider using the south facing roof of the heritage building for that purpose.



**City of Kingston**  
**Report to Kingston Heritage Properties Committee**  
**Report Number HP-24-004**

---

**To:** Chair and Members of the Kingston Heritage Properties Committee

**From:** Jennifer Campbell, Commissioner, Community Services

**Resource Staff:** Kevin Gibbs, Director, Heritage Services

**Date of Meeting:** December 20, 2023

**Subject:** Application for Heritage Permit

**Address:** 36 University Avenue (P18-338)

**File Number:** File Number: P18-073-2023

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**Council Strategic Plan Alignment:**

Theme: Business as usual

Goal: See above

**Executive Summary:**

The subject building with the municipal address of 36 University Avenue, locally known as the Agnes Etherington Art Centre or simply “the Agnes”, is located on the northwest corner of a “T” intersection between Bader Lane and University Avenue. The existing building contains a combination of a two storey Neo-Georgian style flat roof brick house, locally known as the Agnes Etherington House (“the historic house”), and a one-and-a-half to two-storey set of modern additions that wrap around the corner, complete with stone and brick cladding as well as a flat roof. The subject property is protected under the 1998 heritage easement agreement between the City of Kingston and Queen’s University (the “Queen’s Easement Agreement”) pursuant to Part IV of the *Ontario Heritage Act*.

An application for alteration under Section 37 of the *Ontario Heritage Act* (P18-073-2023), as per the Queen’s Easement Agreement, has been submitted to request approval to demolish select additions of the Agnes (specifically the 1974, 1984 and the southeast portion of the 2000

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additions) and replace those additions with a tiered three-storey glazed addition on the south elevation that steps down to two then one storey along both the eastern and southern elevations. A glazed two-storey addition connecting the historic house on the eastern elevation and a three-storey addition comprised of corrugated metal with limited glazing will also be constructed on the northwestern and western elevations of the Agnes.

This application was deemed complete on September 7, 2023. The Queen's Easement Agreement provides a maximum of 40 days for Council to render a decision on an application to alter a heritage building under paragraph 1 of the Queen's Easement Agreement. This timeframe expired on October 17, 2023. Queen's has acknowledged through correspondence with staff that the standard timelines for review of heritage permits, and decisions by Council, would extend beyond the 40 day timeframe and be processed as a standard Part IV heritage permit application under Section 33 of the *Ontario Heritage Act*. As such, the *Ontario Heritage Act* allows for an alternative date as agreed upon by the applicant and Council on an application to alter a heritage building under Section 33(7). This alternative agreed upon timeline will expire on January 31, 2024.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

**Recommendation:**

**That** alterations to the Agnes at 36 University Avenue, be referred to the Director of Heritage Services for the issuance of final approval, in accordance with the details described in the application (File Number: P18-073-2023), which was deemed complete on September 7, 2023 with alterations to include the replacement, via demolition, of the 1974, 1984 and the southeast portion of the 2000 additions with a larger addition that consists of painted corrugated metal vertical siding, large sections of glazing covered with semi-regularly spaced wooden pole or painted aluminum louvre accents, and clear glazing with operable windows and/or doors along all elevations, in addition to:

1. West Elevation:
  - a. A three-storey addition connected to the retained portion of the 2000 addition;
  - b. A painted aluminum overhead door;
  - c. A new garbage enclosure with associated screens;
  - d. A new screened generator on the retained 2000s addition;
  - e. An elevator overrun with associated stair access atop the third storey;
  - f. New rooftop mechanical equipment, likely a condensing unit or air cooler;
2. South Elevation:
  - a. A three-storey addition that steps down to one storey to the east along with a cantilevered second story over the southern entrances/exits;
  - b. Various rooftop exhaust fans/ducts;
  - c. An elevator overrun atop the third storey;
  - d. Bicycle racks near the ground floor entrance;
  - e. The addition of new stand alone signage;

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## 3. East Elevation:

- a. A three-storey addition that steps down to one storey close to University Avenue along with a completely glazed two-storey eastern entrance;
- b. A honed grey granite stone base for the stepped down addition;
- c. A painted guardrail around the top of the one storey addition;
- d. A half storey addition consisting of clear glazing that abuts the historic house;
- e. The incorporation of a portion of the historic house into the interior of the property that will cover three window openings from the 1920s addition;
- f. The addition of storm windows over existing Period Windows on the historic house, where necessary;
- g. The restoration of various heritage attributes of the historic house including its masonry, pilasters along the historic eastern entrance, and various window repairs;
- h. The removal of the French door and iron balustrades for the balcony attached to the historic house and their storage in a secure climate controlled area;
- i. New bench installations along Indigenous Walk;
- j. A rooftop elevator overrun atop the second storey;
- k. The addition of new stand alone signage;

## 4. North Elevation:

- a. The addition of storm windows over existing Period Windows on the historic house;
- b. The restoration of various heritage attributes of the historic house including its masonry and various window repairs;
- c. The removal of the French door and iron balustrades along the northern elevation of the historic house and their storage in a secure climate controlled area;
- d. The installation of a new accessible multi-light glazed door in the place of the French door to accommodate an accessible entrance;
- e. The installation of a concrete ramp with an associated terrace that connects to the Indigenous Walk, poured on a separate foundation, with an associated guardrail;
- f. Recess the existing projecting window on the historic house's 1920s addition and replace it with curtain wall glazing;
- g. Replacement of the existing rooftop vents on the historic house with two rooftop mechanical units;
- h. New bench installations along the Indigenous Walk;
- i. The like-for-like repair of the existing flat roof of the historic house;
- j. The addition of new stand alone signage; and

**That** the approval of the alterations be subject to the following conditions:

1. That the northern & eastern elevation French doors and iron balustrades be repaired in situ to the greatest extent possible prior to their removal and then be stored in a secure climate-controlled environment to allow for their future reinstallation;
2. That the opening dimensions for both removed French doors be retained;
3. That the northern elevation ramp/terrace be completely reversible by way of a separate foundation and use of bond breaker between historic house's wall/foundation;
4. That the refinishing of the eastern facing wood entrance door/surrounds be like-for-like;

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5. That a Heritage Protection and Conservation Plan that includes a Vibration Impact Assessment/Plan be provided to Heritage Planning staff prior to demolition/construction;
6. That a Heritage Documentation Report of all removed additions, both inside and outside, be provided to Heritage Planning staff prior to demolition;
7. That the finalized design details/colour of the semi-regularly spaced wooden pole or painted aluminum louvre accents, corrugated metal vertical siding, northern elevation ramp, guardrails, aluminum garage door, terrace, mechanical equipment screening, garbage enclosure, storm windows and replacement second floor balcony French door, be provided to Heritage Planning staff for review and approval prior to installation;
8. That signage details, including the type, dimensions, illumination, finish, design and colour be provided to Heritage Planning staff prior to installation for review and approval to ensure it is sympathetic to the context of the area, the building and historic house;
9. Should any wood/masonry features on the historic house require complete removal, their replacement shall be like-for-like, will subtly note the year of creation (if possible), and Heritage Planning staff shall be notified for review and approval prior to installation;
10. That the finalized location of external utilities/mechanical units be provided to Heritage Planning staff for review and approval prior to installation;
11. That Heritage Planning staff be circulated the flat roof repair strategy for the historic house for review and approval prior to implementation;
12. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
13. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
14. Any replacement masonry units shall be sourced to match, as close as possible, in colour, size and profile with the existing;
15. All *Planning Act* applications, including Site Plan Control, shall be completed, as necessary;
16. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit and *Planning Act* applications for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application; and
17. Any minor deviations from the submitted plans, which meet the intent of this approval and does not further impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services for review and approval.





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**Options/Discussion:****Description of Application/Background**

The subject building with the municipal address of 36 University Avenue, locally known as the Agnes Etherington Art Centre or simply “the Agnes”, is located on the northwest corner of a “T” intersection between Bader Lane and University Avenue. The existing building contains a combination of a two storey Neo-Georgian style flat roof brick house, locally known as the Agnes Etherington House (“the historic house”), and a one-and-a-half to two-storey set of modern additions that wrap around the corner, complete with stone and brick cladding as well as a flat roof. The subject property is protected under the 1998 heritage easement agreement between the City of Kingston and Queen’s University (the “Queen’s Easement Agreement”) pursuant to Part IV of the *Ontario Heritage Act*.

An application for alteration under Section 37 of the *Ontario Heritage Act* (P18-073-2023), as per the Queen’s Easement Agreement, has been submitted to request approval to demolish select additions of the Agnes (specifically the 1974, 1984 and the southeast portion of the 2000 additions) and replace those additions with a tiered three-storey glazed addition on the south elevation that steps down to two then one storey along both the eastern and southern elevations. A glazed two-storey addition connecting the historic house on the eastern elevation and a three-storey addition comprised of corrugated metal with limited glazing will also be constructed on the northwestern and western elevations of the Agnes.

The goal of this application is to upgrade the Agnes to activate the prominent corner by expanding the site. Specifically, Queen’s University envisions that this redevelopment proposal will “increase indigenous programing, exhibition, research, conservation and [number of] gathering spaces [present at the Agnes]” (Exhibit C). Further, this proposal will convert the interior of the historic house to support “...a live-in artist residency and community-facing cultural hub...” while the overall project will “also accommodate a fully accessible community-facing, participatory project space and trans-disciplinary resource on the Queen’s campus” (Exhibit C). These transformations are, in part, meant to honour “...Agnes Etherington’s original bequest of her house to create an Art Centre to ‘further the cause of art and community’” (Exhibit C).

This application was deemed complete on September 7, 2023. The Queen’s Easement Agreement provides a maximum of 40 days for Council to render a decision on an application to alter a heritage building under paragraph 1 of the Queen’s Easement Agreement. This timeframe expired on October 17, 2023. Queen’s has acknowledged through correspondence with staff that the standard timelines for review of heritage permits, and decisions by Council, would extend beyond the 40 day timeframe and be processed as a standard Part IV heritage permit application under Section 33 of the *Ontario Heritage Act*. As such, the *Ontario Heritage Act* allows for an alternative date as agreed upon by the applicant and Council on an application to alter a heritage building under Section 33(7). This alternative agreed upon timeline will expire on January 31, 2024.

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All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

### Reasons for Designation/Cultural Heritage Value

The Agnes Etherington Art Centre was rated as a “Very Good” building in the August 3, 1998 heritage easement agreement, under Part IV Section 37(1) of the *Ontario Heritage Act*, between the City of Kingston and Queen’s University (the “Queen’s Easement Agreement”). As per the Queen’s Easement Agreement (paragraph 1) any “demolition, construction, alterations, remodelling, or any other thing or act with regard to a Building...which would materially affect the Character Defining Elements, as described in the Statements” requires approval from the City. Under section 37(5) of the *Ontario Heritage Act*, the terms of heritage easement prevail even when there is a conflict with a Part IV designation. In this case, there is no separate Part IV designation of this property.

Relevant parts of this building’s description from the Queen’s Easement Agreement are listed below:

- “[...]s a superior example of a[n] early twentieth century remodelling of an older building...[remains an important art gallery, and is located] on a prominent streetcorner.”
- “[...]s a 2 storey brick detached house with modern additions.”
- “The north face of the main block has a three bay façade...[i]n bay 3, there is a large double French window with a transom light with a similar window above in the second storey.”
- “The south face of the main block has...irregular fenestration in the second storey and a large sun room...”
- “The building has been substantially altered twice [prior to 1998], once to enlarge the residential space, and later to convert the dwelling into an art gallery.”
- “[...]s a minor campus landmark.”
- “The main block was built in 1879 to designs by J. Power and Son, architect. The original tall Victorian house was extensively remodelled in 1920 in the Neo Georgian style to designs by David Shennan, architect. After being acquired by Queen's, the building was remodelled in 1956-57, again to designs by Shennan.”
- “Agnes Etherington willed the house to Queen's ‘for the furthering of art and music at the University.’”
- The Art Centre “...is regarded as one of Canada's most respected and active art museums.”

The building’s character defining elements include:

“The main block Neo-Georgian style, brick walls, projecting central gabled pavilion, French windows, the flat roof and brick parapet with balustrade, the moulded and dentilled cornice, the wooden entrance surround and panelled door, iron balustrades, stone keystones and sills, flat

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arched window surrounds, window mullions, and the wooden shutters, are essential to this building's character.”

The Agnes Etherington Art Centre building entry from the City of Kingston and Queen’s Easement Agreement can be found in Exhibit B.

**Cultural Heritage Analysis**

Staff visited the subject property on June 6<sup>th</sup> and August 18<sup>th</sup>, 2023.

The extensive renovations proposed at the Agnes Etherington Art Centre (“the Agnes”) are meant to reimagine the purpose, scale, impact and use of this multi-disciplinary facility. To accomplish this, significant massing and architectural changes are necessary that will have an impact on the surrounding campus and, most directly, the Agnes Etherington House (“the historic house”). The term ‘historic house’ refers to the portion of the building completed by David Shennan between 1924-1956 (Exhibit C). The Queen’s Easement Agreement mainly focuses on the historic house’s design/location/redevelopment history and ignores the modern additions that will mostly be removed to support this redevelopment proposal (Exhibit B). The balance of conservation works and necessary alterations that will impact the heritage value of the historic house and the Agnes’s contributions to Queen’s Cultural Heritage Landscape to achieve an increase in usability and scale are at the centre of this proposal (Exhibit C). The applicant attended a roundtable session (an informal meeting of interested members of the local heritage community administered by Heritage Planning staff) to seek feedback on the proposed design prior to the completion of this report.

“The Standards and Guidelines for the Conservation of Historic Places in Canada” (Standards and Guidelines) provides guidance on best practices regarding visual relationships, exterior form, exterior walls, windows/doors, entrances/balconies, and wood/masonry products that are considered cultural heritage attributes of the property/building. The below table organizes these best practices into categories as well as summarizes the guidelines applicable to most of the relevant categories:

Standard and Guideline Section Number & Categories		Best Practices Detailed in the Standards and Guidelines
4.1.5, 4.3.1, 4.3.4, 4.3.5, 4.3.6, 4.5.2 & 4.5.3	Applicable to Most Below Categories	<ul style="list-style-type: none"> <li>• Understand how each element relates to the cultural heritage of the building/setting;</li> <li>• Assess the condition of the building/feature early in the project;</li> <li>• Maintain/protect the building/feature through cyclical maintenance work;</li> <li>• Repair the building/feature using recognized conservation techniques (which may include limited like-for-like replacement) and by using a minimal intervention approach;</li> <li>• Protect character-defining elements from accidental damage;</li> </ul>



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		<ul style="list-style-type: none"> <li>• Ensure code/accessibility specialists consider all options/strategies prior to interventions/removals and minimize impacts to character defining elements as well as overall heritage value; and</li> <li>• Document the existing status and subsequent changes for future reference.</li> </ul>
4.1.5	Cultural Heritage Landscapes	<ul style="list-style-type: none"> <li>• Review relationships both to and from the historic place;</li> <li>• Assess the overall condition of the visual relationship early in the project;</li> <li>• Protect features that define visual relationships (including maintaining the size/massing of vegetation and built features);</li> <li>• Rehabilitate visual relationships if required;</li> <li>• Design a new feature when required by a new use that respects the historic visual relationship; and</li> <li>• Remove/alter non character-defining features from periods other than the chosen restoration period.</li> </ul>
4.3.1	Exterior Form	<ul style="list-style-type: none"> <li>• Understand the original design principles and any changes to exterior form made over time;</li> <li>• Retain exterior form by maintaining the proportions/colour/massing/spatial relationships with adjacent buildings;</li> <li>• Select a new use that suits the existing built form;</li> <li>• Select a location for a new addition that ensures the heritage value of the place is maintained;</li> <li>• Design a new addition in a manner that draws a distinction between new and old;</li> <li>• Design the addition with compatible materials and massing to suit the historic building and its setting;</li> <li>• Comply with energy efficiency objectives while minimizing impacts to character-defining elements and overall heritage value;</li> <li>• Accommodate functions that necessitate a controlled environment while using the building for functions that benefit from natural ventilation and/or daylight; and</li> <li>• Remove non-character defining features (like a modern addition) related to the building’s exterior form.</li> </ul>
4.3.4	Exterior Walls	<ul style="list-style-type: none"> <li>• Retain repairable wall assemblies;</li> <li>• Modify exterior walls to accommodate an expanded/new use in a manner that respects the building’s heritage value;</li> <li>• Design a new addition that preserves character-defining exterior walls;</li> </ul>

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		<ul style="list-style-type: none"> <li>• Protect exterior walls by identifying/assessing risks by implementing an appropriate blast (or vibration) protection strategy; and</li> <li>• Work with energy efficiency specialists to implement a strategy that will have the least impact on character-defining elements.</li> </ul>
4.3.5	Window/Doors	<ul style="list-style-type: none"> <li>• Retain sound/repairable windows/doors including functional/decorative elements;</li> <li>• Design a new window/door for use on a non-character-defining elevation that is compatible with the building's style/era/character;</li> <li>• Comply with accessibility requirements in a manner that conserves character-defining doors including their decorative hardware;</li> <li>• Comply with energy efficiency by upgrading character-defining windows by installing storm windows;</li> <li>• Improve the weather protection of repaired windows; and</li> <li>• Replace an entire window/door that is too deteriorated to repair with a reproduced window based on the original.</li> </ul>
4.3.6	Entrances and/or Balconies	<ul style="list-style-type: none"> <li>• Retain sound/repairable entrances/porches and their functional/decorative elements;</li> <li>• Stabilize deteriorating entrances/porches by correcting unsafe conditions;</li> <li>• Design a new entrance required by a new use that is compatible with the building's style/era/character;</li> <li>• Respect the location of existing entrances/balconies when providing new accessibility-related features such as ramps;</li> <li>• Remove/alter a non character-defining entrance from a period other than the restoration period; and</li> <li>• Retain alterations to entrances/porches that address problems with the original design if those alterations do not have a negative impact on the building's heritage value.</li> </ul>
4.5.2	Wood Products	<ul style="list-style-type: none"> <li>• Protect/maintain wood by preventing conditions that contribute to weathering/wear;</li> <li>• Create conditions that are unfavourable to growth of fungus;</li> <li>• Remove deteriorated or thickly applied coats by using the gentlest means possible;</li> <li>• Ensure new coatings are physically/visually compatible; prevent continued deterioration by isolating the wood from the source of deterioration;</li> <li>• Retain all sound/repairable wood that contributes to the building's heritage value;</li> </ul>

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		<ul style="list-style-type: none"> <li>• Replace deteriorated or missing parts of wood elements based on documentary/physical evidence and on a unit-by-unit basis; and</li> <li>• Select replacement material for character-defining woods based on their physical/visual characteristics.</li> </ul>
4.5.3	Masonry	<ul style="list-style-type: none"> <li>• Retain sound and repairable masonry that contributes to the heritage value of the historic place;</li> <li>• Repair masonry by repointing where there is evidence of deterioration;</li> <li>• Remove inappropriate mortar by carefully raking the joints using appropriate methods; and</li> <li>• Use mortars that ensure the long-term preservation of the masonry assembly that is visually compatible with the existing masonry.</li> </ul>

The proposal meets many of the relevant Standards and Guidelines. This project will retain the entirety of the historic house (namely the 1924-1956 building by architect David Shennan, which includes the original heavily modified Power and Sons building) and rear portions of the 2000 addition, but will remove the 1974, 1984 and southeast portion (the front façade) of the 2000 addition. In their place a larger addition that consists of painted corrugated metal vertical siding (mostly along the western and southern elevations); large sections of glazing covered with semi-regularly spaced wooden pole or painted aluminum louvre accents (mostly along the south, north and east elevations); and clear glazing with operable windows and/or doors (mostly along the south and north elevations) are proposed. This addition will be three storeys tall at its highest point (concentrated on the western portion of the building) and one storey at its lowest point (concentrated on the eastern portion of the building), excluding the required roof top mechanical equipment (concentrated on the south and north portions of the building). The final colour of the corrugated metal vertical siding has not been determined, but is expected to be light grey, silver, or another sympathetic colour. Similarly, the colour/material of the semi-regular spaced wooden pole or painted aluminum louvre accents are yet to be determined but may include a variety of wood products or white/light grey painted aluminum louvre accents (Exhibit C). Both cladding types/designs and the finalized location of roof top mechanical equipment will be subject to staff review and approval. These details will be finalized during a separate Site Plan Control application (that has yet to be submitted) but will be provided to heritage planning staff for review and approval prior to installation.

Along the north elevation (that faces Jeffery Hall) the existing French door and associated metal balustrades will be replaced with a multi-light glazed door to accommodate a secondary accessible entrance. Further, on the historic house the existing unsympathetic or aluminum frame storms windows will be replaced with 1-over-1 wood frame exterior storm windows, the unsympathetic projecting window in the 1920s addition will be replaced with curtain wall glazing, the existing roof top vents will be replaced with new mechanical units in a less visible location, and the flat roof of the historic building will be repaired like-for-like (Exhibit C). The finalized design/colour of the storm windows are subject to further staff review.

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Along the east elevation (that faces Grant and Kingston Hall) the redesigned entrance will include a glazed two-storey secondary entrance, the top of the one storey addition will include a painted guardrail system, and the base of the one storey addition will consist of a granite stone base in a honed grey colour/finish. Further, this new addition will require enclosing three window openings on the second floor of the historic building (to the west of the location of the original French door), replacement of existing unsympathetic or aluminum frame storm windows with new 1-over-1 wood frame exterior storm windows, and replacement of the existing French door and iron balustrades associated with the northern-most balcony with an appropriately designed replacement (Exhibit C). The finalized design/colour of the railing system, the 1-over-1 storm windows, and the replacement door are subject to further staff review.

Along the western elevation (that faces Harrison-LeCaine Hall) the proposed painted aluminum overhead door and rooftop mechanical corrugated metal screening will require staff review. Along the southern elevation (that faces Ban Righ Hall) part of the addition includes a cantilevered second story over an entrance. It is expected that the south and north elevations will replace the existing eastern entrance as the primary entrances (Exhibit C).

The immediate building surroundings will also be altered to support this project. Along the western elevation, a new screened external garbage enclosure and new landscape plantings are proposed. Along the south elevation, new accessible parking along Bader Lane is proposed as well as a secondary courtyard equipped with circular bicycle racks and new signage that leads to the ground floor entrance. Along the east elevation, new low-lying foliage is proposed next to the courtyard (which ends the Indigenous Walk) that will lead to the secondary ground floor entrance as well as new signage likely on the retaining wall. Along the north elevation, a sloped ramp/pathway (the beginning of the Indigenous Walk) with associated guard rails, benches, signage and landscape plantings, are proposed as well as a new terrace that connects to the newly proposed accessible entrance. Along the western elevation, new landscape plantings are proposed as well as a screened garbage collection area. The finalized design/colour of the garbage enclosure, ramp, railing system, terrace, and signage are subject to further staff review.

There are two main aspects of this proposal that could impact the heritage value of the historic house and the Agnes generally, namely changes to the historic house and setting changes. Changes to the historic house's setting include landscape alterations and redevelopment of the attached addition. Changes to the heritage house include minor alterations, restoration/preservation works, and the removal/enclosure of identified heritage attributes. Change to the Agnes and the historic house could also alter their contributions to Queen's Cultural Heritage Landscape. In addition, changes to the Agnes's setting may also impact surrounding buildings also noted in the Queen's Easement Agreement. Each aspect will be reviewed separately.

The Queen's University Heritage Study, which was the precursor to the Queen's Easement Agreement, discussed the importance of various landscapes at Queen's University, "and notes the importance of the siting of the [Agnes] at the corner of University Avenue and...Bader Lane" (Exhibit C). As such, alterations may impact the setting of this historic house as well as its'



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contribution to Queen's Cultural Heritage Landscape. The impacts of such a significant redevelopment include visual obstruction of the historic house from certain viewpoints and the potential to visually dominate the historic house; such impacts could lessen the historic house's contribution to the building's overall status as a minor landmark (Exhibit C). In addition, these alterations change the massing/spatial relationship between surrounding buildings also identified in the Queen's Heritage Easement. Further, its location opposite Grant Hall (one of Queen's most recognized and visited campus buildings due in part to its use in convocation ceremonies) increases its prominence. Its unique location at the corner and opposite one of Queen's most notable landmark buildings means alterations will be experienced by a high number of visitors and residents.

The proposed design of the redeveloped Agnes will inhibit the view and reduce the prominence of the historic house. Specifically, the view of the historic house will be reduced when looking north from the bottom of University Avenue and at the corner of Bader Lane and University Avenue (Exhibit C). In addition, the redesigned addition will be taller/wider than the existing addition and be closer to University Avenue than the historic house (Exhibit C). Currently, the historic house is closer to University Avenue. Further, the new addition will draw more attention than the existing as the proposed design meaningfully differs from the surrounding built environment. Despite this, the HIS notes that "[t]he proposed development is sensitive to the local context and surrounding heritage adjacencies through the use of carefully planned setbacks [and] curvilinear forms..." (Exhibit C). The curvilinear and stepped down forms will allow interior views of the historic house (Exhibit C). As much of historic building's value is centred on its physical attributes, the ability to appreciate these attributes will be diminished due to the proposed changes to its immediate setting. This will negatively impact the historic house's contribution to Queen's Cultural Heritage Landscape.

While the historic house will become a less prominent part of the Agnes complex and the Queen's Cultural Heritage Landscape, the proposed expansion/redevelopment of the Agnes will continue, grow and amplify its existing museum space/programing capacity while retaining the historic house. The building's use as a museum is part of its intangible value as "Agnes Etherington willed the house to Queen's 'for the furthering of art and music at the University'" (Exhibit B). Since then, the Agnes has remained "...the Unviersity's main gallery space and is regarded as one of Canada's most respected and active art museums" (Exhibit B). In addition, this proposal also seeks to reinstate a residential use in the historic house through an in-artist suite program. Both the museum expansion and reintroduction of a residential use will have a positive impact on the Queen's Cultural Heritage Landscape as well as both the historic house and the rest of the Agnes complex's intangible heritage.

The project also aims to remove non character-defining features of the Agnes represented by the existing 1974, 1984 and southeast portion (the front façade) of the 2000 additions and construct a larger addition in its place. This will "activate the prominent corner...[while allowing for] a much needed gallery expansion" (Exhibit C). The removal of unsympathetic additions allows for the creation of a new addition that better distinguishes between new and old, which the HIS notes as a "...contemporary intervention [that is] materially subordinate to the existing heritage fabric of the campus" (Exhibit C). The new addition will allow for the public to easily

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differentiate between what portion of the Agnes is historic (the historic house) and what portion is modern (the rest of the Agnes complex). In addition, the proposed change in massing should not frustrate the spatial relationship with other surrounding properties also noted in the Queen's Heritage Easement since its size and massing will be like those adjacent heritage buildings, namely Ban Righ, Grant, and Kingston Hall. The overall impact on adjacent buildings, excluding the historic house, is neutral.

In addition to the above, general landscape changes should have a neutral impact on the surrounding setting once the finalized design details are reviewed and approved by staff. The newly proposed garbage collection area to the west will be along the least impactful elevation, the new bicycle parking structures and accessible parking along the south are typical installations at the University, the proposed signage is not attached to the building, and the Indigenous Walk with associated benches along the north and east should not draw excessive attention. Further, only low-lying vegetation will be installed along the eastern elevation to maintain views of the historic house (Exhibit C). While the finalized signage details are not yet determined they will be "...designed in a manner that respects the materiality and palate of the [h]istoric [h]ouse and surrounding campus...[as well as not]...obscure views [of] Character-Defining Elements" (Exhibit C). The finalized design of the proposed signage, garbage enclosure and benches are subject to further review by staff.

While some Cultural Heritage Landscape impacts will occur, the proposal also seeks to alter and rehabilitate the historic house. These changes will have positive and negative impacts on the historic house. The alterations on the historic house include: the removal of the French doors and associated iron balustrades along the northern and eastern elevations; enclosure of three openings on the east elevation second floor that will be housed in a glazed addition; the addition of wood 1-over-1 exterior storm windows over Period Windows (where necessary); the addition of a ramp and associated railing system on the north elevation that will abut the historic house; recess the north elevation modern projecting window and replace it with flush curtain wall glazing; move existing roof vents/utilities to a more obscure location; repoint masonry; restore the historic eastern elevation entrance and associated pilasters; window repairs; and the like-for-like repair of the existing flat roof (Exhibit C). The retained 2000s addition will also now support an additional screened roof top mechanical box (Exhibit C).

The proposed alterations to the historic house will result in long term but reversible impacts to its heritage value. As the French doors and associated iron balustrades (along the north and eastern elevations) are considered heritage attributes, their removal will negatively impact the historic house's heritage value. To support their removal the applicant has provided a window assessment of these French doors, a list of accessibility/access considerations and a conservation/storage strategy. According to this assessment, both French doors are considered in "...poor but repairable condition" (Exhibit C). The plan is to first repair the doors (preferably in situ) before placing the doors and balustrades "in a secure, climate-controlled location to maintain their heritage value" (Exhibit C). The reason for their removal is to ensure access to the northern entrance and second floor balcony meets Building Code and Queen's accessibility standards (Exhibit C). Before settling on removal, one of the considered alternatives included modifying the French doors to support accessibility standards, however it was found that such

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modifications would impact the door's "original geometry" and this strategy was abandoned (Exhibit C). Along the north elevation, the French door and balustrades will be replaced with a new accessible door that will "...maintain the French [door's] geometry and attributes as closely as possible, in a style common among buildings of this style" (Exhibit C). A rendering of the proposed design was included in the supplied addendum (Exhibit C). Along the eastern elevation the door design is not finalized but will be a new accessible door with an appropriate design that reflects the removed door's/house's style like the north elevation (Exhibit C). The Heritage Impact Statement (HIS) also notes that "[n]o other locations on the north facade were possible for the inclusion of a new accessible door and other interventions were not possible owing to the limited number of existing openings and Queen's programming requirements" (Exhibit C). Importantly, the original opening for both French doors will not be altered to support these new accessible entrances; this is a condition of approval (Exhibit C). The removal of identified heritage attributes will negatively impact the heritage value of the historic house, however they will be repaired and stored in such that they can be reinstalled in the same location at a future date.

To support additional accessibility goals, a new ramp and associated railing system will be introduced on its own foundation that will abut the northern elevation of the historic house (Exhibit C). A condition of approval includes the use of a bond breaker between the wall/ramp to allow for its removal at a future date with limited impacts. The location of this accessible ramp was chosen to avoid additional alterations to the eastern elevation (the most prominent elevation of the historic house). The finalized colour of the ramp and associated railing system has not yet been determined but are intended to be "muted and within the same colour palette as the [h]istoric [h]ouse" (Exhibit C). While the ramp and railing system will partly obstruct the view of the historic house, these alterations will be reversible. As the finalized design details for the ramp and railing system could change their level of impact, they are subject to staff review and approval.

The applicant also plans to enclose three exterior window openings and part of the moulded cornice (Exhibit C). The goal is to maintain the integrity of these openings and building material by integrating a reveal that separates the existing roof cornice and the ceiling of the new addition. "As a result, the new ceiling plane will 'float' above the top of the existing cornice line" (Exhibit C). While this will bring part of the building's exterior to the interior, it will still be visible through the clear glazing and will continue to be appreciated by those who use this part of the building. This alteration is meant to allow for reversibility if the addition is removed in the future while ensuring "...the integrity of the existing expression is not compromised" (Exhibit C).

To allow for the expanded use, a new utility system for the historic house and remaining 2000s addition is necessary. For the historic house, the new location proposed is "the secondary roof at the rear of the [h]istoric [h]ouse. This location has been chosen to provide the required services...while minimizing the visual impact of the equipment. It will not be visible from grade" (Exhibit C). For the remaining part of the 2000s addition, a new penthouse will be introduced on the western portion of the roof but will be screened to "minimize noise and visual impacts" (Exhibit C). "The design of this screen is still under development, but the choice will be muted, within the overall building palette, and designed to minimize its visual impact" (Exhibit C). The

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finalized design will be provided to heritage planning staff for review and approval prior to installation. The proposed changes should address minor negative visual impacts related to the location of the existing vents on the historic house and the changes to the 2000s addition should result in a neutral impact once appropriately screened.

One final minor alteration on the historic house includes removing the existing modern projecting rectangular window and replacing it with curtain wall glazing that is flush with the building wall (Exhibit C). This should result in a positive impact since this existing projecting window is not sympathetic to the existing historic house and is visually out of place. While the large unsympathetic opening will remain, the new glazing and flush position should draw less attention.

In addition to the above alterations, various restoration/preservation/maintenance works are also proposed that have been informed by a condition assessment that will enhance the historic house's heritage value, namely: the installation of wood 1-over-1 exterior storm windows (where necessary); repointing the walls/foundation; restoration of the wood trim/pilasters of the eastern elevation entrance; various window repairs; and the like-for-like repair of the existing flat roof. A condition assessment identified that only minor repointing of the brick and stone foundation is necessary, and that the interior windows are "generally in good condition" (Exhibit C). As the interior windows appear to be original to the historic house they will be retained and repaired. However, it appears that the exterior storm windows are in poor condition, and many are not original or sympathetic (Exhibit C). "Where exterior storm windows are missing or have been replaced with unsympathetic aluminum framed storms, new 1-over-1 wood frame storm windows are proposed for single glazed windows at the first and second floor" (Exhibit C). While the finalized design has not yet been determined, "[t]hese storm windows will be historically appropriate and will have a single horizontal division that lines up with the interior sash. This design will maximize the visibility of the existi[ng] original windows and the new exterior storms will be installed in a manner which is reversible and causes minimal impact to the existi[ng] historical windows" (Exhibit C). Further, the eastern elevation of the historic house will require some maintenance including the repair of the fluted pilasters and wood entrance surrounds. They are noted to be in generally good condition but have some evidence of wear (Exhibit C). Finally, to address leaks in the roof of the historic house further evaluations are being conducted to determine the extent and cause of damage. "Any repair and/or replacement will be undertaken in a manner which is in keeping with the original design and the existing roof materials..." (Exhibit C). The finalized roof strategy will be approved by heritage planning staff prior to enactment. The result of these works will enhance the value of this building since regular maintenance and upkeep maintains heritage attributes as well as general heritage value. Most of the works involve repair over replacement and will highlight the underlying or associated heritage attributes of the property. Moreover, the applicant will be submitting a Heritage Protection and Conservation Plan that includes a Vibration Study prior to site demolitions or removals (Exhibit C). This plan should provide a clear strategy for ongoing maintenance and additional clarity on how select works will be undertaken. Submission of this Plan is a condition of approval.

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The proposal will diminish the historic house's prominence and contribution to Queen's Cultural Heritage Landscape, but these changes are reversible if completed in an appropriate manner. The proposed design for the renovated addition differs from most buildings in the immediate area, is large enough that it obscures the view of the historic house when viewed from the south looking north and will visually dominate the retained historic house along all elevations but maintains a similar massing to surrounding heritage buildings. Despite this, these alterations are reversible and can return this historic house to its existing state if/when a new development occurs at the Agnes.

In addition, the enclosure of a portion of the eastern elevation and the removal of four noted heritage attributes (a pair of French doors and associated iron balustrades) will also diminish the historic house's heritage value, particularly for the north elevation. The northern elevation is envisioned to be one of the two main entrances and will meet Queen's accessible entrance requirements along a well traveled pathway that connects to the Indigenous Walk. While retained French doors and associated iron balustrades are still present along the eastern elevation and on the second floor of the northern elevation, the removal of these attributes along the north elevation to support this new entrance is a missed opportunity for the public to easily experience these rare features especially if it will be one of the two main entrances to the Agnes. Despite their removal, these features will be repaired then housed in a secure climate-controlled area for future reinstallation.

Notwithstanding the above impacts, this proposal also seeks to reinstate a historic use and expand the museum as well as restore/improve the heritage value of the retained heritage attributes through appropriate conservation works while also allowing the property to be used/experienced by a larger share of the public. The expansion of the museum and reestablishment of its residential use fulfills the purpose of Agnes Etherington's contribution to Queen's and recovers some of its intangible value, respectively. The retention and repair of the original interior Period Windows, installation of purpose built 1-over-1 sash storm windows that will display the interior windows, the repair of the east elevation woodwork, masonry repointing, and roofing repair works will enhance/maintain the historic house for the long term. These restoration/maintenance works will further assist in drawing a distinction between new and old while also allowing for the rejuvenation of retained heritage attributes.

As the Agnes has an extensive redevelopment history, including the historic house itself, this proposal allows for the building to be appropriately redeveloped in the future by not permanently altering its heritage attributes. The goal of increasing the building's accessibility and integrating the northern entrance into a well traveled pedestrian route will allow more persons to experience the site's retained heritage value while increasing its usability. Further, the expansion of the museum use will help maintain the Agnes's contribution to Queen's Cultural Heritage Landscape. The forthcoming Heritage Protection and Conservation Plan should provide a clear strategy on ongoing maintenance requirements and additional clarity on how select works on the historic house will be undertaken to ensure these long-term alterations are entirely reversible. While impacts are present, they are reversible.



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Staff are of the opinion that the subject application will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Citizenship and Multiculturalism's Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the City so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 2, 4, 6, 7 & 8:
  - Respect for the original location – Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.
  - Respect for original fabric – Repair with like materials, to return the resource to its prior condition without altering its integrity.
  - Reversibility – Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
  - Legibility – New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
  - Maintenance – With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.
- Achieve Standards 2, 5, 7, 8 & 12 of Parks Canada's Standards and Guidelines:
  - Conserve changes to a historic place that, over time, have become character-defining elements in their own right.
  - Find a use for a historic place that requires minimal or no change to its character-defining elements.
  - Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
  - Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
  - Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

### Previous Approvals

A commentary on the evolution of the Agnes has been included in the Heritage Impact Statement submitted on [DASH](#).

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**Comments from Department and Agencies**

The following internal departments have commented on this application and provided the following comments:

**Building Services:**

No comment.

**Engineering Services – General:**

The barrier curb that is used as a small retaining wall should not exceed the encroachment of the existing retaining walls within the municipal property.

Please show the easement for Bader Lane on the drawings to ensure that the building foundation does not encroach into the easement.

The owner will be responsible for the maintenance of paver stones proposed within the municipal property. A clause will be required in the agreement indicating that the maintenance of the pavers will be the responsibility of the property owner.

**Engineering Services – Noise:**

Noise study will be required and reviewed at the Site Plan Control stage.

**Engineering Services – Storm Water:**

Storm water management report will be required and reviewed at the Site Plan Control stage.

**Active Transportation:**

No comments. Retaining wall/curb should not encroach further into municipal right-of-way.

**Traffic Review:**

No comments. Retaining wall/curb should not encroach further into municipal right-of-way.

**Utilities Kingston:**

Utilities Kingston has no issues or concerns with the heritage permit. All Utilities Kingston comments have been applied to the Site Plan Control Application.

**Planning Services:**

Site Plan Control approval is required for the proposal. A Pre-application Site Plan Control application has been received and is under technical review (City File Number D02-004-2023).

**Forestry Services:**

A Tree Permit will be required to address tree removals necessary to accommodate building demolition and to establish Tree Preservation Zones (TPZ) for preserved trees identified in the Tree Preservation Plan through the D02 pre-application submission. Arborist Report and Tree Preservation plan along with Tree Protection fencing details to be submitted in support of the Tree Permit application.

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**Environmental Services:**

No comment.

**Kingston Hydro:**

No comment.

**Transportation Services:**

No comment.

**Consultation with Heritage Kingston**

The Kingston Heritage Properties Committee was consulted on this application through the [DASH](#) system. Heritage Services has received comments from four members of the Kingston Heritage Properties Committee. The Committee's comments have been compiled and attached as Exhibit E as well as summarized below.

One member noted that the addition should not "impinge on the integrity of the house in any way" and should not act as a background for or obstacle [to] the view of the historic house. They would rather see a "long, low building which reflects Queen's traditional architecture." This same member noted that the height should be no higher than Kingston or Ban Righ Hall and all works should be reversible.

Another member noted that they thought the wood accents add a "poetic contextual element as well as tactility and human scale..." but cautioned that aluminum louvers might not have the same effect. They would not be opposed to seeing a third option that had a similar function and "feel to wood." They also noted that they would like to see the railing for the terrace in the renderings.

A third member noted that only one such red brick building is on that side of University Avenue, which contributes its own value. They also noted that while renovations might be necessary, that the proposed design overwhelms the historic house and additional thought should be considered regarding expanding the building to the rear (perhaps link with the music school building). The use of glass behind the historic house would be more visually appropriate while also beautifying the western pathway that abuts the building. An accessible entrance might also be better along this western pathway. They were also concerned that the heritage attributes of the historic house might be negatively impacted by the reinstated residential use. They also wanted to know if the "Richarson/Benedickson families have been asked for their feedback" on this proposal.

A fourth member noted that the massing would be less impactful for Ban Righ Hall if the three-storey addition could be softened and scaled down along Bader Lane. It currently appears as a "blocky wall and utilitarian face along much of Bader Lane and across from Ban Righ." They also noted that the recommendations from the ERA HIS should be followed.

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**Conclusion**

Staff recommends approval of the application File Number (File Number: P18-073-2023), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

**Existing Policy/By-Law:**

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

*Ontario Heritage Act*, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Citizenship and Multiculturalism)

City of Kingston Official Plan

By-Law Number 2023-38 Procedural By-Law for Heritage

Queen’s University and City of Kingston 1998 Heritage Easement Agreement

Policy on Masonry Restoration in Heritage Buildings

Policy on Window Renovations in Heritage Buildings

**Notice Provisions:**

Pursuant to Section 33(4) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

Joel Konrad, Manager, Heritage Planning, 613-546-4291 extension 3256

Phillip Prell, Intermediate Planner, Heritage 613-546-4291 extension 3219

**Other City of Kingston Staff Consulted:**

None

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**Exhibits Attached:**

Exhibit A Mapping Information

Exhibit B Excerpt from Queen's University at Kingston and The Corporation of the City of Kingston Heritage Agreement, 1998

Exhibit C HIS, HIS Addendum, Architectural Plan, Window Review & Landscape Plan

Exhibit D Site Visit Pictures

Exhibit E Correspondence Received from the Kingston Heritage Properties Committee





# Kingston Heritage Properties Committee

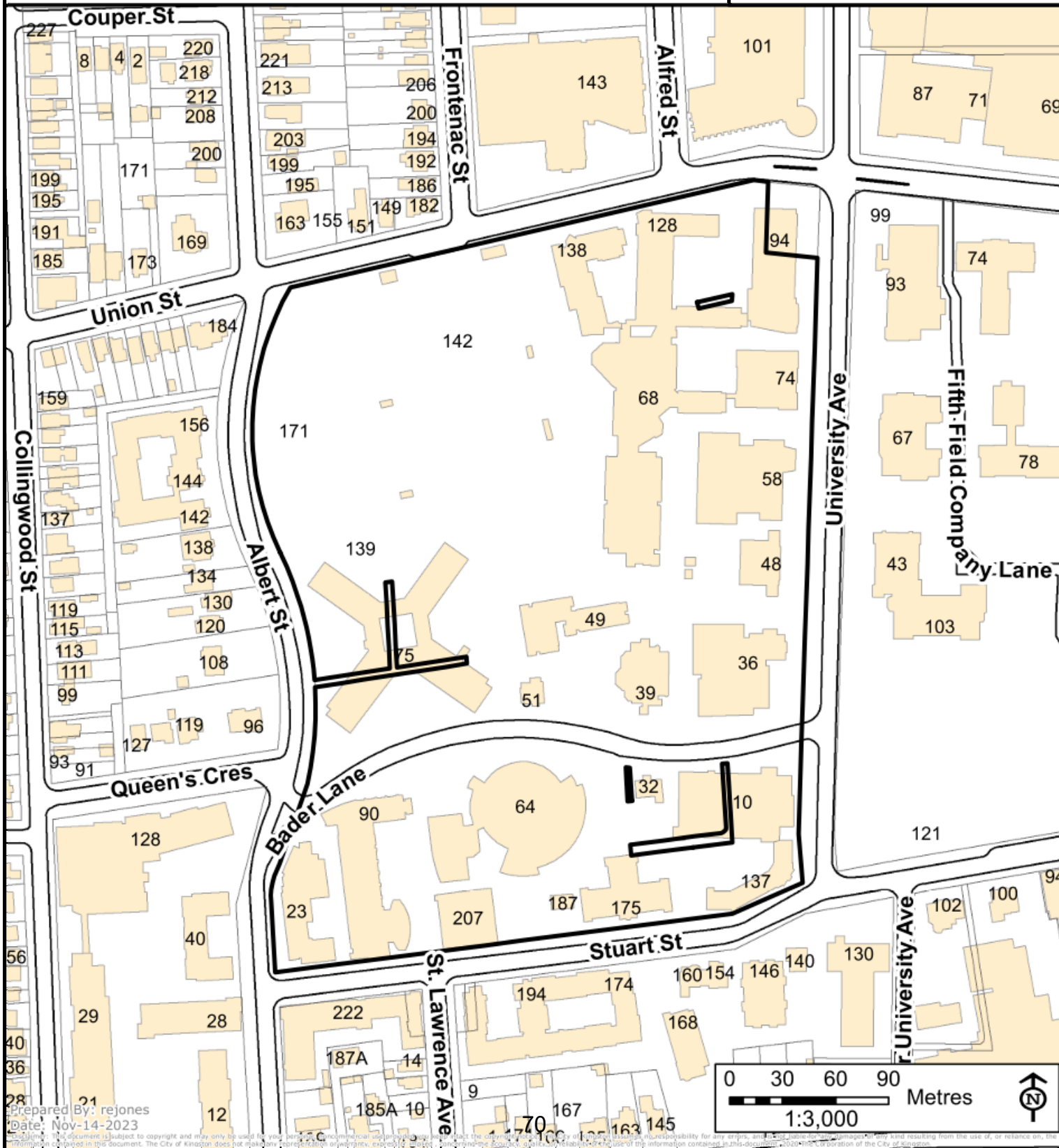
## Key Map

Address: 36 University Avenue

File Number: P18-073-2023

Planning Services

Subject Lands



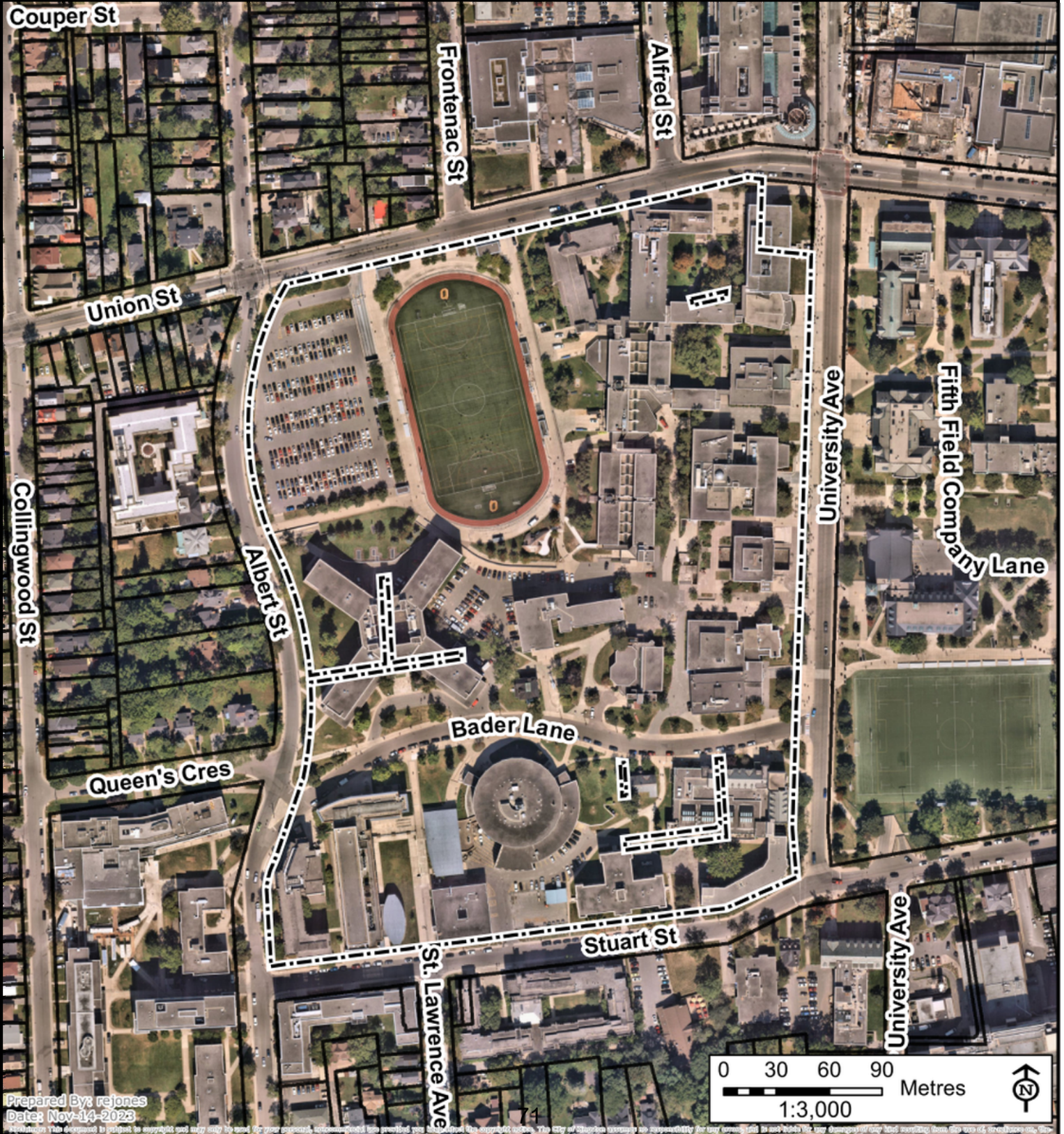




# Kingston Heritage Properties Committee Neighbourhood Context (2023)

Address: 36 University Avenue  
File Number: P18-073-2023

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: rejonas  
Date: Nov-14-2023

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The Agnes Etherington Art Centre  
Date: 1879

Reasons for Very Good Classification

This building is rated as Very Good because it is a superior example of a early twentieth century remodelling of an older building, the work of a noted architect, with historical associations to prominent Kingston families and to its current use as an important art gallery, with important historical associations and located on a prominent streetcorner.

Building Description

The Agnes Etherington Art Centre is a 2 storey brick detached house with modern additions. Both the main block and the additions have flat roofs. The main block is set on a high stone foundation and its 3 bay facade has a projecting central pavilion and a recessed, full height wing adjoining bay 3 in which the main entrance is housed in a projecting one storey section. There are double French windows flanked by large single windows in the first storey of the central pavilion, with two windows above; in bays 1 and 3 are paired windows on the first storey and single windows above. Details in this section complement the overall Neo Georgian style: the entranceway has a transomed doorway with a classical frame of reeded pilasters supporting a moulded architrave, broken pediment and a large six-panelled door; the window mullions, proportions, iron balustrades, stone keystones and sills, flat-arched surrounds and wooden shutters are correct to this style; the cornice is white, moulded and dentilled, and; the roof is hidden by a brick parapet topped with stone and broken in sections by white balustrades.

The north face of the main block has a three bay facade with a slightly projecting central pavilion. In bay 1, two small windows in the first storey (one blind) have above them a large round-arched window. In bay 3, there is a large double French window with a transom light with a similar window above in the second storey. This upper window has a small iron-railed balcony. The south face of the main block has at the eastern end a wide chimney breast flanked by single windows on each floor. The remainder of the south face has irregular fenestration in the second storey and a large sun room with a single storey brick extension linked by a glassed passageway to the gallery wing. Brick wings to the west and south have been added to increase gallery space. No interior features were noted, although the gallery highlights several of the rooms in the main block, and many interior fixtures and features in these rooms have been retained.

The building has been substantially altered twice, once to enlarge the residential space, and later to convert the dwelling into an art gallery. The building is sited at the east end of Queen's Crescent on lower University Avenue, just west of Grant Hall, and thus is a minor campus landmark.

The main block was built in 1879 to designs by J.Power and Son, architect. The original tall Victorian house was extensively remodelled in 1920 in the Neo Georgian style to designs by David Shennan, architect. After being acquired by Queen's, the building was remodelled in 1956-57, again to designs by Shennan. The main wing was designed in 1962 by Barrot, Marshall, Merrett. Barrot, architects and further additions and alterations were made in 1975 and 1978. A further expansion is pending (1995). Historical associations are with the Richardson family, prominent locally and nationally. The house was built for George Richardson, former University Chancellor, occupied from 1921 by his

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eldest daughter, Agnes, who had married Dr. Frederick Etherington. Agnes Etherington willed the house to Queen's "for the furthering of art and music at the University". The Art Centre has since become the University's main gallery space and is regarded as one of Canada's most respected and active art museums.

### Character Defining Elements

The main block Neo Georgian style, brick walls, projecting central gabled pavilion, French windows, the flat roof and brick parapet with balustrade, the moulded and dentilled cornice, the wooden entrance surround and panelled door, iron balustrades, stone keystones and sills, flat arched window surrounds, window mullions, and the wooden shutters, are essential to this building's character.

### **Theological Hall (Old Arts Building)**

Date: 1880

### Reasons for Excellent Classification

This building is rated as Excellent because it is one of the finest architecturally on campus, and the first Romanesque Revival building on campus, influencing much subsequent construction. The work of prominent architects, it is retained virtually intact from the time of its construction during the first major University expansion in the late nineteenth century. At that time it housed the major University functions and commanded a prominent site in the centre of the original campus.

### Building Description

Theological Hall is a two storey limestone building with a third storey attic under a gabled roof. The principal, south-facing facade is symmetrical. The main block has projecting pavilions at each end and a central tower. The pavilions are two and a half storeys high, rising to a gable end. The central tower contains the main entrance and is four storeys high, with the top storey rising to gables on each face with a smaller tower topped by pinnacles at each corner. The bays flanking the tower are two storeys high with dormers centred in the roof gable. At each corner of the tower and end pavilions are two storey buttresses. Unifying the vertical elements are string courses which extend across the entire five bays: a plain ashlar course forming the sill of the first storey windows; a narrow, moulded, darker course at the base of the second storey windows; and a narrower dark course across the tops of these windows. This is echoed in the corbel table and billet moulding which extends around the building at cornice level. Further unity is given by the use of predominantly square-headed windows on the first storey, and round-headed windows on the second.

The main entrance is in a monumental, round-arched entryway with voussoirs and compound arches rising from the capitals of rounded pilasters. The middle arch has billet moulding, and similar mouldings mark the panel above the double doors. The panel contains an electric lantern in its centre. Above the entry are a pair of round-arched windows separated by a short, engaged column whose capital supports square stones at the springing of the arch. The third storey of the tower has three narrow round-arched windows with a common sill. Above this, a corbel table supports a moulding at the base of the fourth storey. Four large round-headed openings with shuttered covers are centred above the moulding in each of the tower faces, traced with a dark string course over the tops of the



# AGNES ETHERINGTON ART CENTRE

## HERITAGE IMPACT STATEMENT

36 UNIVERSITY AVENUE KINGSTON

Issued: September 3 2023



## 1.1 Specific Project Parameters

The proposed development project at the AEAC involves:

- The conservation of the identified cultural Heritage Value of the AEAC and its Character-Defining Elements;
- The removal of later building additions; and
- The construction of a new addition to the existing museum facilities which will increase indigenous programming on campus; expand community amenities including gallery, and education spaces; and improve accessibility and universal access to the AEAC.

The AEAC is considered as a Part IV Designated property as it is included in the Queen's University Heritage Easement Agreement (HEA) with the City of Kingston. This HIS has been prepared as part of an application for approval to Alter, Erect or Demolish on a designated heritage property under the Ontario Heritage Act.

***Heritage Value:** the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.*

***Character-Defining Element:** the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value.*

Source: Parks Canada Standards and Guidelines

## 1.2 Potential Impacts to Heritage Resources

The new addition will conserve the AEAC's identified Character-Defining Elements and will have no negative physical impacts to the identified heritage value of the property. To accommodate the new addition the project proposes the removal of the southeast portion of the 2000 addition and the full removal of the 1974 and 1989 additions to the Historic House on the property. The additions proposed for removal are not included in the HEA description of Character-Defining Elements of the property.

While the proposed project will impact the view of the Historic House from Bader Lane and from the south of University Avenue, it will activate the prominent corner on which the gallery is located and will allow for a much needed gallery expansion. The proposal will increase access points, improving accessibility, and renewing the AEAC's landscaping and outdoor spaces. The proposed development is sensitive to its local context and surrounding heritage adjacencies through the use of carefully planned setbacks, curvilinear forms, and its legibility as a contemporary intervention which is materially subordinate to the existing heritage fabric of the campus.

## 1.3 Submission Number

23TMP-002342

## 2.3 Proposed Development: Agnes Etherington Art Centre



2. Rendering of proposal (KPMB, 2023)

Known as The Agnes, the AEAC is located at the intersection of University Avenue and Bader Lane, at the heart of the Queen's University Campus. The evolving AEAC has expanded beyond the footprint of a Historic House which was bequeathed by Agnes Etherington to Queen's University in 1956. It has since served as the art gallery and conservation hub for the art collection at Queen's. The Historic House has had several significant additions over the years to accommodate the expansion of its collection and programming. The current development project proposes the removal of the 1974 and 1989 additions, along with the southeast portion of the 2000 addition to accommodate



3. 1974 (left) and 1989 (right) Site Plan drawings with additions indicated in blue (Source: Mill, Ross, and Sadhina Architects; and Marshall, Merret, Stahl, Elliott, Mill, Ross Architects, annotated by ERA).

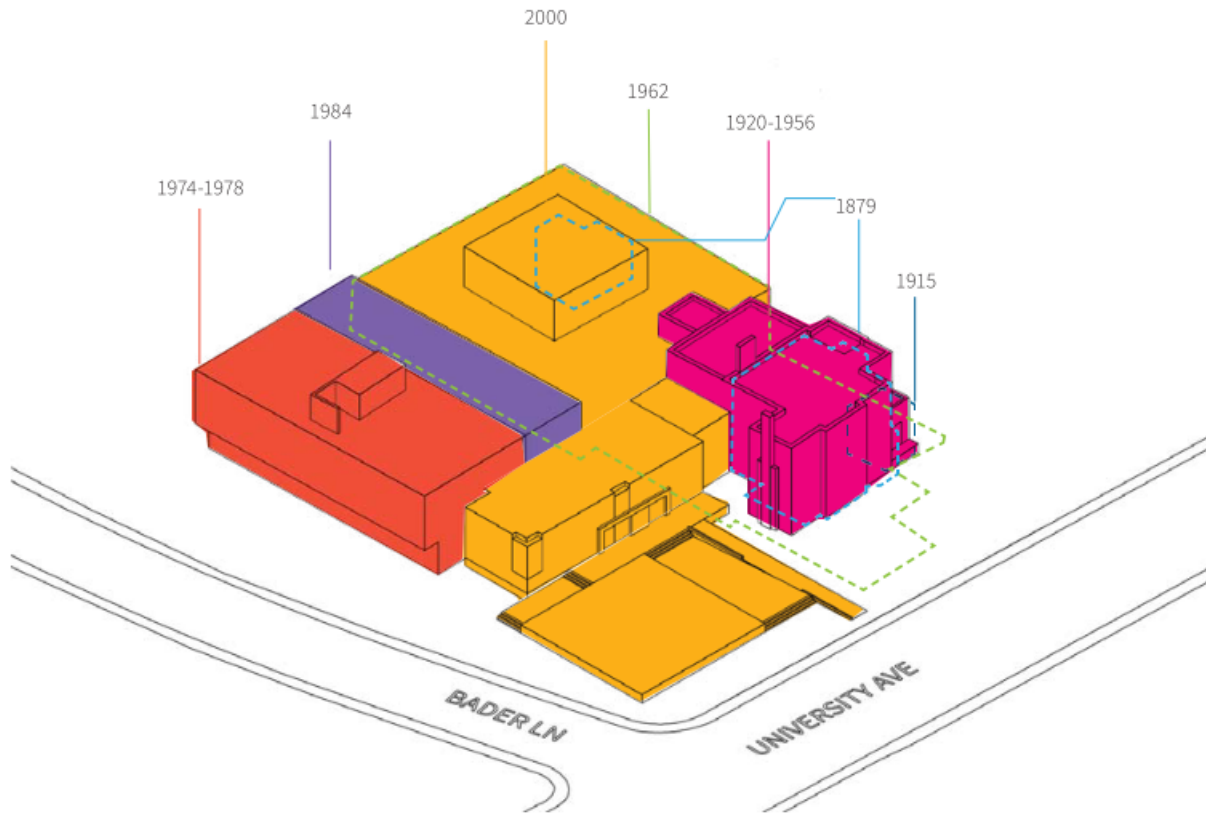
new programming spaces. The additions proposed for removal are not included in the HEA's description of Character-Defining Elements.

A new three-storey, glazed, tiered addition is proposed at the south quadrant of the property. The massing of the addition steps down to one-storey at the south and east (front) elevation of the property. It increases to a two-storey glazed addition at the intersection of the new development and the Historic House. The highest portion of the addition is setback from University Avenue and situated in the southwestern quadrant of the site along the rear lane.

This proposal will increase indigenous programming, exhibition, research, conservation, and gathering spaces at the AEAC. This will result in increased opportunities for new uses and participatory community engagement with the Historic House and the gallery as a whole. It will also provide needed animation to Bader Lane and to the north side of the Historic House at its exterior.

The proposed new addition is sensitive to, and distinguishable from, the Character-Defining Elements of the AEAC, and the existing setbacks and context of University Avenue and the Queen's campus. The new addition also reflects the historic evolution of the AEAC and its role as the Art Centre of Queen's University. While the proposal is distinguishable and physically and visually compatible with the Historic House. The proposal will also provide a nationally important opportunity for Indigenous self-determination on the Queen's university campus, and in the City of Kingston.

## Building Evolution Diagram

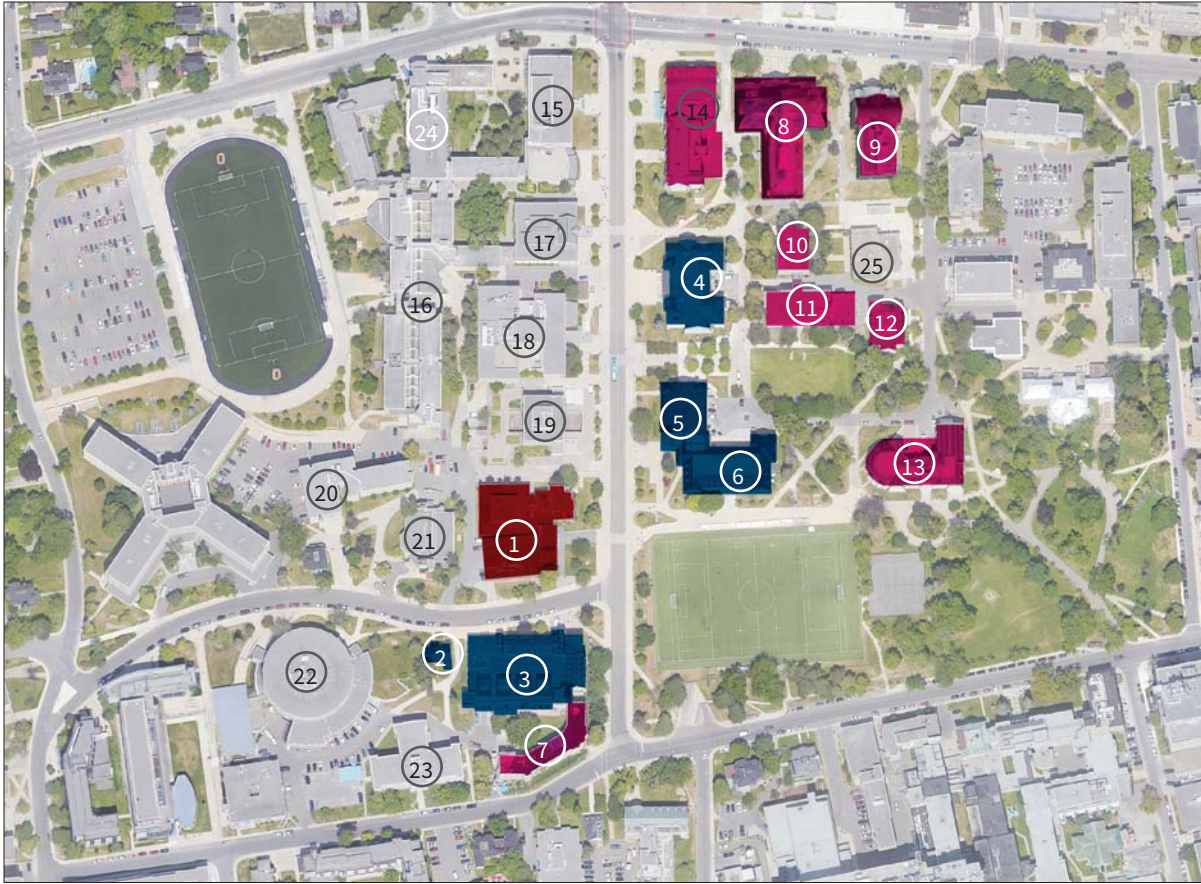


49. Axonometric diagram of building evolution with dates. (Source: ERA)

### Legend

- 1879 - J.Power and Son (Since modified)
- 1915 - Unknown
- 1924- 1956 - David Shennan, Architect
- 1962 - Mackenzie, Marshall & Merrett (demolished)
- 1974 - Marshall, Merrett, Stahl, Elliott, Mill & Ross
- 1978 - Marshall, Merrett, Stahl, Elliott, Mil & Ross
- 1984 - Mill, Ross, & Sardinha Architects
- 2000 - DSAI





79. Satellite view showing the Site within the wider campus context (Google Earth; Annotated by ERA).

1 Agnes Etherington Art Centre

Adjacent Heritage Easement Properties

- 2 Ban Righ Centre
- 3 Ban Righ Hall
- 4 Ontario Hall
- 5 Grant Hall
- 6 Kingston Hall

Other Heritage Easement Properties

- 7 Adelaide Hall
- 8 Gordon Hall
- 9 Nicol Hall
- 10 Fleming Hall - Stewart Wing
- 11 Fleming Hall - Jemmett Wing
- 12 Carruthers Hall
- 13 Theological Hall
- 14 Douglas Library

Other Properties

- 15 Dunning Hall
- 16 Mackintosh-Corry Hall
- 17 Richardson Hall
- 18 Ellis Hall
- 19 Jeffery Hall
- 20 Watson Hall
- 21 Harrison-LeCaine Hall
- 22 Stirling Hall
- 23 Chown Hall
- 24 The Law Building
- 25 Clark Hall



## Agnes Etherington Art Centre (AEAC)

The Reasons for Classification of the AEAC included in the HEA speak to the history and uses of the of the Historic House. These include an understanding of the house:

- As the superior remodeling of an older building;
- As the work of a noted architect;
- For its historical associations to prominent Kingston families (the Richardsons);
- For its current use as an important art gallery; and
- For its location on a prominent street corner.

Throughout the evolution of the property, all of these have been maintained through the full retention in situ of the Historic House and its continued use as an Art Gallery named for Agnes Etherington.

Several Character-Defining Elements are called out in the HEA as being essential to the building's character, and these are limited to the architectural features on the exterior of the Historic House portion of the AEAC. These Character-Defining Elements are crucial to the reading of the Historic House as an excellent example of Neo-Georgian residential architecture and its understanding as a former residential home. While the HEA addresses the Historic House's 1920s remodeling, it does not mention any details about the subsequent additions and modifications, and it does not include any interior features on the list of Character-Defining Elements.



80. Diagram of heritage attributes for the original Agnes Etherington Historic House (Source: ERA)

### Character-Defining Elements of the AEAC

- |   |  |    |                              |
|---|--|----|------------------------------|
| 1 | Main block Georgian Style                    | 9  | Stone keystones and sills    |
| 2 | Brick walls                                  | 10 | Flat arched window surrounds |
| 3 | Projected central gabled pavilion            | 11 | Window mullions              |
| 4 | French windows                               | 12 | Wooden shutters              |
| 5 | Flat roof with brick parapet with balustrade |    |                              |
| 6 | Moulded and dentiled cornice                 |    |                              |
| 7 | Wooden entrance surround and paneled door    |    |                              |
| 8 | Iron balustrades                             |    |                              |

### 3.6 Condition Assessment

Overall, the current condition of the Historic House is generally good. The majority of its components have been clearly well maintained, with only some minor elements showing signs of deterioration. The main exception to this statement is the condition of the wood windows.

#### Stone Base

The pale grey limestone base is generally in good condition, with no signs of cracking or spalling. There are a small number of open mortar joints around the basement windows.

#### Brick

The brick is generally in good condition, with only small amounts of open mortar joints that require repointing. An area of brick at the east end of the south façade and wrapping the corner to the east façade is covered with ivy. The brick parapets and the Historic House's two chimneys are all in good condition.

#### Windows and Doors

The main entrance door in the east façade is in fair condition. The wood surround was refinished in 2006, but joints are now opening in the edges of the fluted pilaster. The window openings in the side bays of the primary east façade have wood shutters, which appear to be in fair condition.

The French doors at the north elevation are in poor condition. The outside has been painted shut, the paint is peeling, and the wood has started deteriorating. The high bottom rail is in need of replacement along with the bottom sections of the stiles. The putty is cracked and missing in several locations, suggesting that water is getting into the muntin bars. The other set of French doors at the east elevation are in fair condition. The majority of the original windows consist of two parts: an interior window, and an exterior storm sash, separated by a cavity that is 2-3" deep. While the interior windows are generally in good condition, the exterior wood storm sashes are in poor condition and many are not original. They frequently do not appear to close properly (though some have been screwed shut), allowing moisture into the cavity that has resulted in peeling paint at all frames and muntin bars, and deteriorated putty and wood. Some original windows on the Historic House have been bricked in over time.



An inventory of window types is below:

- Basement level: three windows are single-glazed wood windows; and four windows have been infilled with masonry.
- First Floor: six windows are single-glazed wood windows; five windows have original internal windows with exterior wood storms; two windows have been infilled with masonry; two are French doors with wood frames and storm windows; and two windows are not original and were introduced during previous phases of renovations.
- Second Floor: five windows have original internal windows with exterior wood storms; fourteen windows at the second floor are original single-glazed wood windows with non-original exterior aluminum storm windows; and one window has been infilled with masonry

## Roof and Flashings

The three areas of flat roof have all been replaced since 2010, and are all in very good condition, finished with pea gravel at the two main roof areas and stone ballast at the smaller west roof.

## Other Exterior Features

The metal iron balustrades on the east and north façades are in good condition, although the connections to the brick at the two north balconies are poorly executed.

### 3.7 Heritage Adjacencies

The following section summarizes the cultural heritage value of identified adjacencies and provides a brief contemporary heritage analysis. All the Character-Defining Elements listed in the Statement of Significance for these adjacencies have been maintained, and a visual assessment from the exterior at grade indicated that the buildings are generally in good condition.

#### Kingston Hall

Kingston Hall is noted for its architectural features including its proportionality, use of rusticated limestone and Romanesque Revival features, as well as for its historical and associative value. Designed by prominent architects Symons and Rae in 1903, Kingston Hall was one of the first limestone buildings purpose-built for the campus and anchors the southern edge of University Avenue.

#### Ontario Hall

Ontario Hall is noted for its fine character-defining features, including its Romanesque Revival features, and striking main façade with its main entrance way and curvilinear twinned staircases at the main elevation. Also designed by Symons and Rae in Queenston Limestone, Ontario Hall was the second landmark building to be constructed along University Avenue in this style.

#### Grant Hall

Built in the Romanesque Revival style with Edwardian details, Grant Hall was also designed by Symons & Rae in 1905. Like their designs for the adjacent Ontario and Kingston Halls, Grant Hall is built using rusticated Queenston Limestone and completes the grouping of these monumental buildings on campus. Grant Hall is one of the most recognizable landmark buildings on the Queen's Campus, due to its clock tower and composition, and siting on University Avenue. It features several significant architectural details and is significant for its development history. It is named for one of the University's most significant Principals, George Munro Grant.

## Ban Righ Hall

Designed by architects Allward and Gouinlock, the property is noted for its architectural features and historical association as the first women's residence on the Queen's Campus. As the first institutional building to be erected on the west side of University Avenue, the use of Queenston limestone connects the building to the University Avenue context on the east side and anchors the south side of Bader Lane. Ban Righ Hall has undergone several later sympathetic additions built with rusticated Queenston Limestone; however, these are not clearly distinguishable from the original building fabric.

## Ban Righ Centre

Noted for its characteristic Arts and Crafts style, this remaining house form building to the west of the Ban Righ Hall is a remnant of the previously residential character of Bader Lane, which existed well into the 20th Century.

## Neighbourhood and Community Context

The AEAC and its noted adjacencies make a strong contribution to the varied character of University Avenue and its importance to the Queen's campus as a Cultural Heritage Landscape.

The interface of buildings in a range of architectural styles and periods provides visual evidence of an expanding and evolving University, while maintaining the respective character of their context through the use of consistent setbacks. The setbacks along University Avenue are consistent with the setback of the AEAC's Historic House.

The landscape of Bader Lane retains the curvilinear layout of the street which is a remnant of the original survey and later development of the area. The current interface of the south elevation of the AEAC additions does not positively impact or contribute to the Bader Lane streetscape.

**Cultural Heritage Landscape:** (a) geographical area that has been modified, influenced or given special cultural meaning by people, and that has been formally recognized for its heritage value. Cultural landscapes are often dynamic, living entities that continually change because of natural and human-influenced social, economic and cultural processes.

While the resulting forms may sometimes be simple and other times complex, there is a common language and approach developed for the conservation of cultural landscapes.

Source: Standards and Guidelines for the Preservation of Historic Places in Canada.

## 4 PROPOSED CONSERVATION APPROACH

The proposed conservation approach is a full rehabilitation. This will revitalize the existing identified heritage resources on the property and ensure its ongoing contribution and innovation as an important Art Centre on the Queen’s University Campus.

This rehabilitation will conserve and augment the AEAC’s identified Character-Defining Elements through carefully considered conservation work and localized repairs. The proposal will convert the Historic House into a live-in artist residency and community-facing cultural hub, while maintaining public access and its siting on campus. It will also accommodate a fully accessible community-facing, participatory project space and trans-disciplinary resource on the Queen’s campus. This transformation honours Agnes Etherington’s original bequest of her house to create an Art Centre to “further the cause of art and community”.

The conservation approach is in keeping with industry best practices including the Ontario Heritage Toolkit and the Parks Canada Standards and Guidelines for the Preservation of Historic Places in Canada.

### 4.1 Development Analysis of the Agnes Etherington Art Centre

The design for the proposed revitalization of the AEAC was developed by KPMB in consultation with Indigenous Affairs consultant Georgina Riel, and Queen’s University. The revitalization proposes the following site interventions:

- Preservation of the Character-Defining Elements of the Historic House.
- Rehabilitation of the Historic House building fronting onto University Avenue to enhance its heritage value and to accommodate new programming.
- Removal and replacement of the 1974, 1989, and parts of the 2000 additions to facilitate the inclusion of a new addition.
- The new addition will support expanded programming, conservation, gathering, and indigenous cultural space.

**Conservation:** all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

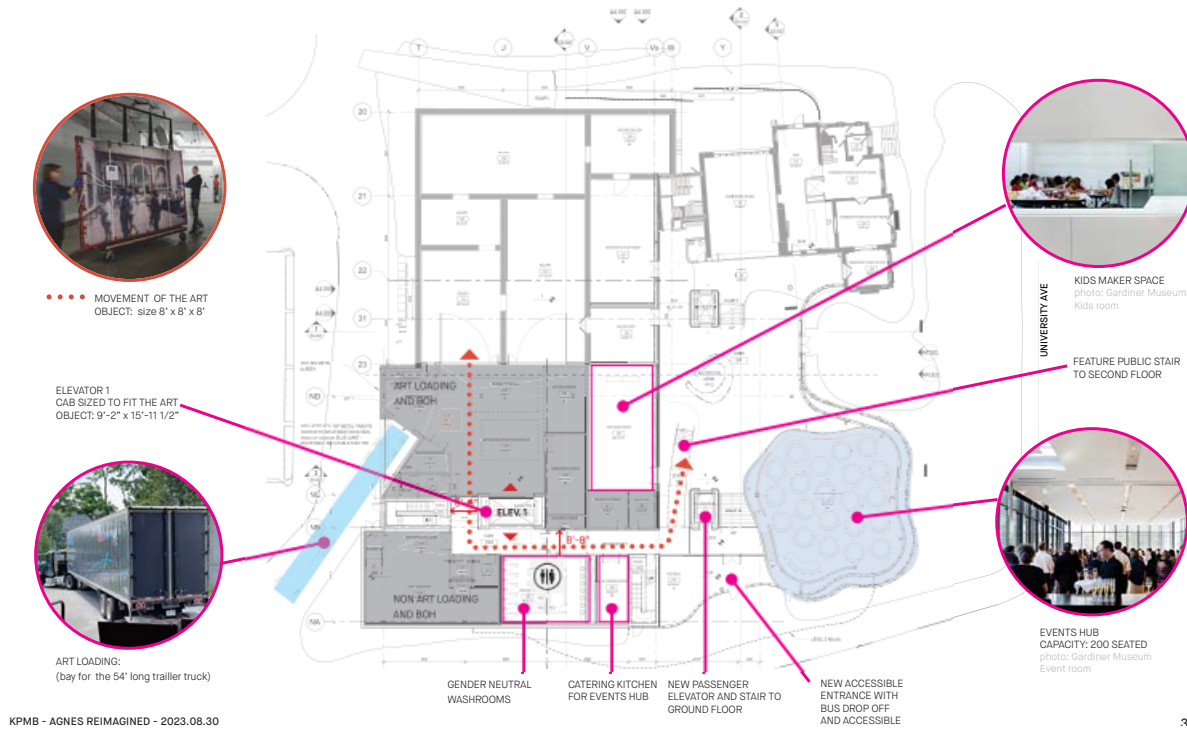
**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

**Rehabilitation:** the action or process of making possible the continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Source: Parks Canada Standards and Guidelines for the Preservation of Historic Places in Canada.





83. Site Plan Diagram of Program and Site Constraints (Source: KPMB, 2023)

The new addition will feature a new glazed double height lobby space and reception area off of University Avenue which will open onto an Arts and Events hub at the southern and eastern ends of the building. The upper floors will step back along the front east elevation at the second and third floors, to retain views to the Historic House at the exterior while expanding interior spaces. This will accommodate a 200% increase in exhibition and alternative programming spaces for curatorial experimentation and public engagement; Indigenous self-determination spaces; as well as new art study spaces and conservation resources.

A Welcome Centre with a new entrance forecourt is proposed to replace the existing addition at Bader Lane. The ground floor of the new extension will serve as a service space and loading area for the existing 1-storey galleries at the east end of the site and will connect new gathering spaces with an expanded main floor at the Historic House's west elevation. An accessible entrance is proposed from Bader Lane which will provide a new entrance into the gallery and serve to animate the interface of the AEAC with the surrounding streetscape.



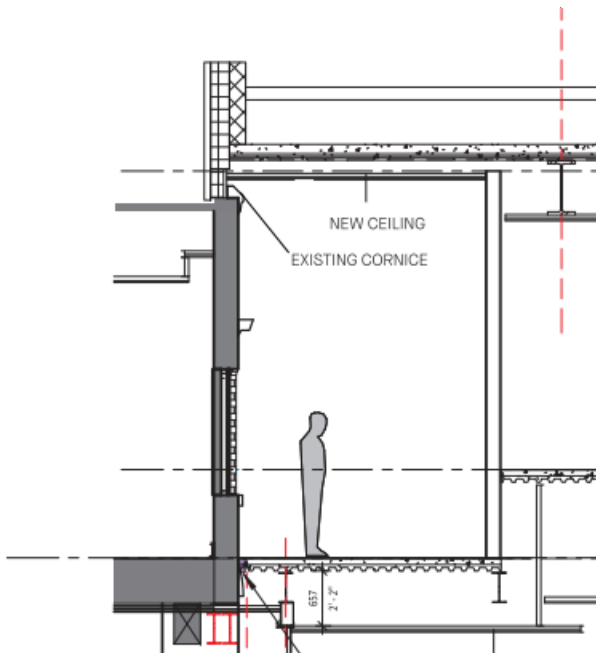
84. Site Plan of the proposed development (Source: KPMB, 2023)

A new accessible entrance is proposed in an existing opening along the north elevation. This will provide access to the AEAC which responds to current campus paths of travel and will provide an accessible entrance which does not obscure or impact the front façade of the Historic House. The entrance will be at the top of a 1:20 ramp which connects a proposed ‘Indigenous Walk’ landscaped pathway to the Historic House by a new terrace. Both the ramp and the terrace will not be anchored to the Historic House. While the colour of the ramp and its metal guardrails have not yet been determined, they will be muted and within the same colour palette as the Historic House.

This new extension at the east and south is proposed to be further set back at the upper floors of the addition and on its frontage with Bader Lane. The addition is clad in an exterior solar shading system consisting of louvres connected to a framing system over glazed walls. The materials will consist of either tamarack poles or aluminum louvres with a textured Corafalon paint. Both the tamarack and the Corafalon paint will create a soft surface finish with a matte quality which will be distinct and complimentary to the existing materials of the AEAC and with its adjacent heritage adjacencies. The addition at the north and west elevations will be constructed from metal with a textured Corafalon paint. While the final colour selection has not been made, all new elements will be muted and within the palette of the campus landscape.

New mechanical equipment is proposed to be introduced at the north elevation of the new addition, as it is not feasible to be located below grade. The equipment will be screened to minimize noise and visual impacts, and the design of the screen is still under development. It will be designed to have a minimal visual impact and is set back from the Historic House so that it will not be visible from the street. A new garbage enclosure is also proposed at the west elevation, as this location is at a distance from the Historic House. Design details are also in progress, and will be submitted to city staff for approval.

The guiding design principle at all interfaces between new and existing will be a reveal that separates the two to ensure the integrity of the existing expression is not compromised. At the junction of the new ceiling and the existing south parapet of the heritage house a 75mm reveal is proposed. As a result the new ceiling plane will 'float' above the top of the existing cornice line.



85. Section Drawing of Existing Cornice with New Ceiling (Source: KPMB, 2023)

The proposed development will augment the landscape around the AEAC by introducing meadowing and native plantings. Most of the trees on the site will be retained, however one tree that is in ailing health on University Avenue will be removed and replaced with a tree with a slimmer profile, in order to maximize views to the Historic House from the south of University Ave. New plantings will be minimized in front of the Historic House, in order to maximize its visibility.

## 4.2 Conservation and Impact Analysis

### The Historic House

The proposed development will conserve the identified heritage value of the AEAC and will not result in a loss of cultural heritage value on the subject property. All interventions to the Historic House are proposed to be undertaken in a manner which is visually and physically compatible with the Character-Defining Elements. Conservation principles including "repair rather than replace" and "minimal intervention" will guide the approach to all identified heritage elements and new work which intersects with the Historic House will be legible as a distinct layer of change. The proposal is in keeping with the Standards and Guidelines for buildings undergoing "rehabilitation," including:

- Selecting the location for a new addition that ensures that the heritage value of the place is maintained.
- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

#### Conservation Measures

Conservation and Rehabilitation measures will be undertaken in a manner which respects the original fabric of the Historic House and its historical materials and original location. Specific measures include:

- The sensitive conservation, cleaning, and repair of Character-Defining Elements including:
  - Minor repointing of the stone base.
  - Minor brick repointing.
  - Repair of original windows.
  - Minor refinishing of the entrance door surround.
- The removal of previous unsympathetic additions at the north elevation and south elevations of the Historic House.

#### Eight guiding principles in the conservation of historical properties

1. Respect for documentary evidence  
Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.
2. Respect for the original location  
Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.
3. Respect for historical material  
Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.
4. Respect for original fabric  
Repair with like materials, to return the resource to its prior condition without altering its integrity.
5. Respect for the buildings history  
Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.
6. Reversibility  
Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
7. Legibility  
New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
8. Maintenance  
With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

Source: Ontario Heritage Toolkit.



## Potential Impacts

Two examples of Character-Defining Elements (a French door and an iron balustrade) will also be removed to create an accessible doorway off the north elevation into the main gallery space. A new accessible 1:20 ramp and terrace space is proposed at the north elevation to the house which will have a minor visual impact on the Historic House by partially obscuring the building's masonry at the north façade. No additional impacts are anticipated to the Historic House, provided that careful planning is made for the demolition of the additions proposed for removal.

## Mitigation Measures

The proposed work will continue the legacy of a “superior remodeling of an older building” on the property while maintaining the identified heritage value of the Historic House through the following mitigation measures:

- Its current use as an important art gallery will continue with an expanded mandate to facilitate increased indigenous presence and self-determination on campus, which is vital to the principles of reconciliation and the objectives of Queen’s University.
- Historical associations to prominent Kingston families will be retained through the continuation of the Agnes Etherington name and the full retention of the Historic House.
- The proposed development will restore a residential component to the Historic House while continuing public access to its ground floor.
- The Historic House will remain in its original location and animate the prominent corner on which it is situated.
- The new terrace and accessible ramp proposed at the north elevation of the Historic House will be poured on a separate foundation which is not affixed to the Historic House, and will be constructed in a manner which is reversible.
- The landscape surrounding the ramp will slope up to meet the ramp surface along its north edge, minimizing the ramp's visual impact within the landscape as a whole. The colour of the ramp is still being determined, but it will be compatible with the colour palette of the Historic House and have a muted finish.

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With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

Source: Ontario Heritage Toolkit.

- The ramp and terrace will be designed with a rail featuring painted metal pickets. The colour of the rail is still being determined, but the choice will be muted, within the overall building palette, and have a matte finish to minimize its visual impact.
- Improved accessible access and circulation to the AEAC is in keeping with the Parks Canada Standards and Guidelines recommendation regarding “finding solutions to meet accessibility requirements that are compatible” with the exterior form of heritage properties. The new entrance and ramp at the north elevation will not block views or access to the principal façade of the Historic House.
- All masonry repointing and repair will be carried out in accordance with the City’s Policy on Masonry Restoration in Heritage Buildings.
- A Heritage Protection and Conservation Plan will be prepared and submitted to the City of Kingston for approval, prior to any site demolitions or removals. While no blasting or underground parking is being proposed, the Heritage Protection and Conservation Plan will include a Vibration Impact Assessment and a plan which will be put into place prior to any site demolitions or removals. The Conservation Plan will contain additional information about material choices, repair methodologies, and the interface of new elements with the Historic House fabric.
- All Character-Defining Elements will be fully retained, conserved, and rehabilitated with the exception of the set of French doors and an iron balustrade.

### Window and Door Impact Mitigation Measures

As stated in the City of Kingston's 2012 *Policy on Window Renovations in Heritage Buildings*, Kingston recognizes that Period Windows are an integral component of heritage buildings, and that their conservation is of great importance to the City's character. The rehabilitation of the AEAC will include the retention and refurbishment of existing period windows, with the exception of one set of French doors at the north façade.

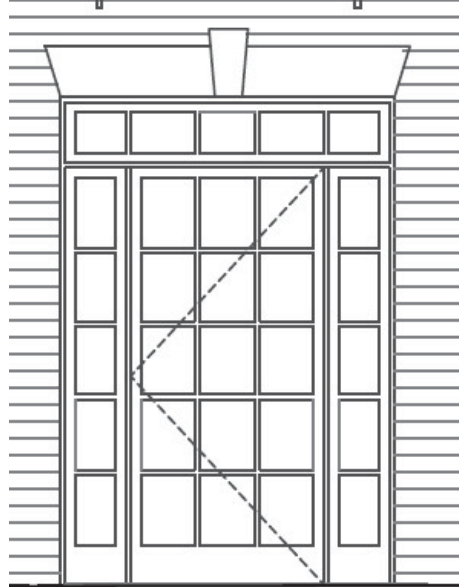
The policy also acknowledges that the thermal efficiency of windows is an important part of improving the energy use of a building, and that older windows can be upgraded to maximize their efficiency.

- Where exterior storm windows are missing or have been replaced with unsympathetic aluminum framed storms, new 1-over-1 wood frame storm windows are proposed for single glazed windows at the first and second floor. These storm windows will be historically appropriate and will have a single horizontal division that lines up with the interior sash. This design will maximize the visibility of the existing original windows and the new exterior storms will be installed in a manner which is reversible and causes minimal impact to the existing historical windows.
- The new exterior storm windows will be fastened into the wood frame, to match the location within the opening of the existing wood sashes that are to be retained. Although the fasteners will make holes in the wood frame, these holes will be easily repaired with wood filler if the storm windows are ever removed. There will be no impact on the existing wood sashes.



86. Archival photo of AEAC showing 1-over-1 storm windows at second floor of the Historic House

- The original French door proposed for removal will accommodate a new accessible entrance, which responds to existing patterns of travel on the campus and is in keeping with the Queen's University Accessibility Standards. While this intervention will require the removal of a Character-Defining Element, another example of the French doors and their associated iron balustrade also exist at the primary elevation of the house along University Ave. These Character-Defining Elements will be refurbished and remain in-situ in their more prominent location on the Historic House. The proposed removal is a reversible intervention, and the original doors will be salvaged and safely stored.
- The new accessible door at the north elevation will be designed in a manner which is sensitive and sympathetic to the original door. The masonry opening will not be altered and a new door will be installed to meet the Queen's Accessibility Standards requirement for a 950mm clear door opening. Design details will be finalized in the conservation plan, and new hardware will be selected in keeping with the spirit of the existing Historical House and its existing fixtures.
- The removal of this Character-Defining Element will not impact the identified heritage value of the property as another more prominent example of this attribute will remain on the primary facade of the Historic House. The proposed new intervention will be sensitively designed to minimize any visual or physical impacts. The new door will feature proportional sidelights and geometry which will correspond to the existing conditions.



87. Proposed design for new accessible door at north elevation. (Source: KPMB)



## New Addition

### Conservation Measures

The new work will follow the *Standards and Guidelines for the Preservation of Historic Places* in Canada Standard 11 by ensuring that the heritage value and Character-Defining Elements are conserved, and that the work is physically and visually compatible with and distinguishable from the Historic House. Standard 11 also advises that an addition should be subordinate to the historic place which is understood to mean that the addition must not detract from the historic place or impair its heritage value.

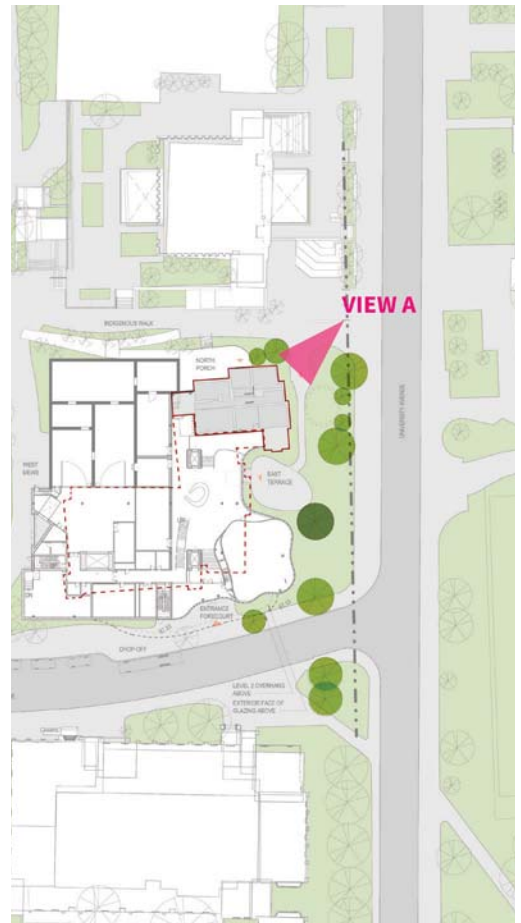
### Potential Impacts

A need for expanded programming and site constraints have resulted in the proposal of a large addition. As a result, views to the Historic House will be impacted from Bader Lane and from the south of University Avenue.



88. Annotated Site Plan of the proposed development with impacted views shaded in blue and unaffected views shaded in pink. Note: annotated tree will be a replacement for the current existing tree (Source: KPMB, 2023)

**View A - North Elevation**



89. TOP Perspective View A: Rendering of the proposed north elevation

Note: views to the Historic House are not impacted (Source: KPMB, 2023).

90. BOTTOM Perspective View A: Current image of north elevation (Source:

ERA, 2021)

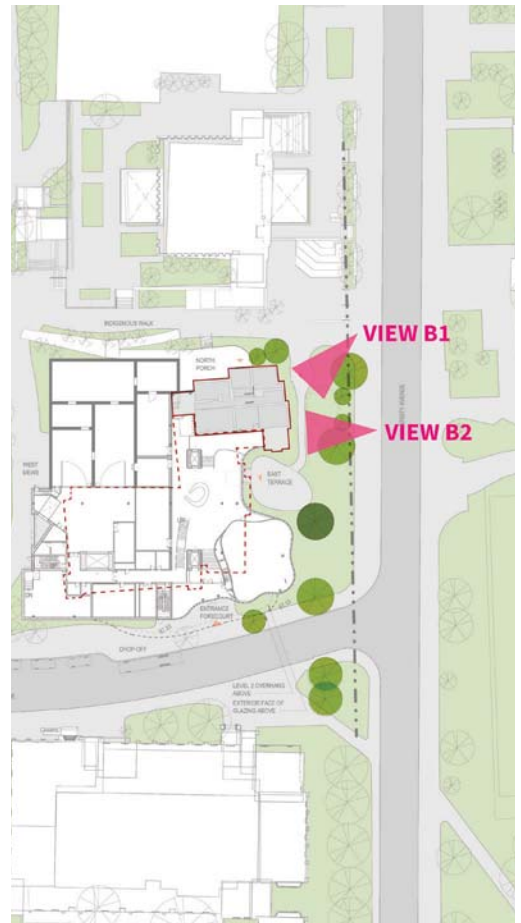
91. Key Map indicating View A

**View B - East Elevation**



92. TOP Perspective View B2: Rendering of the proposed east elevation  
Note: views of the Historic House are not impacted (Source: KPMB, 2023).

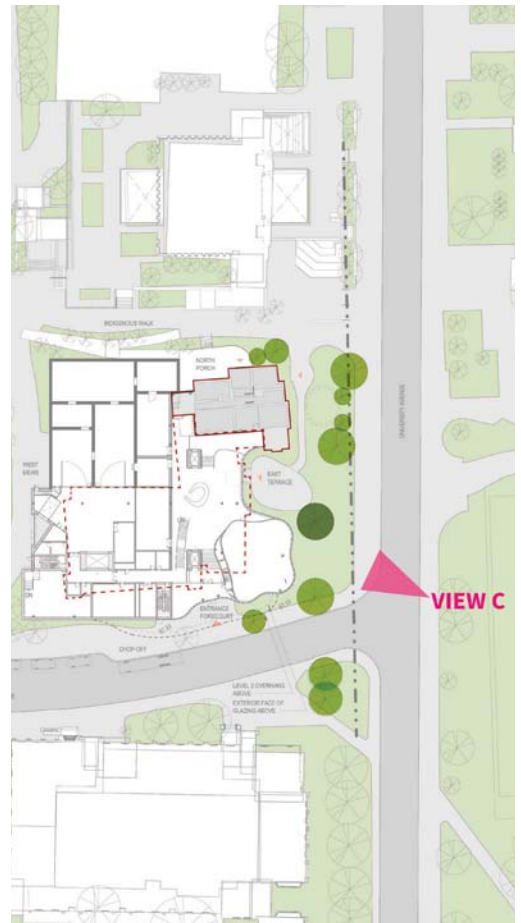
93. BOTTOM Perspective View B2: Current image of east elevation (Source: KPMB, 2023)



94. Key Map indicating View B



**View C - South-East Elevation**



95. TOP Perspective View C: Rendering of the proposed south-east elevation Note: views of the Historic House are not impacted (Source: KPMB, 2023).

96. BOTTOM Perspective View C: Current image of south-east elevation (Source: KPMB, 2023)

97. Key Map indicating View C



**View D - South Elevation**

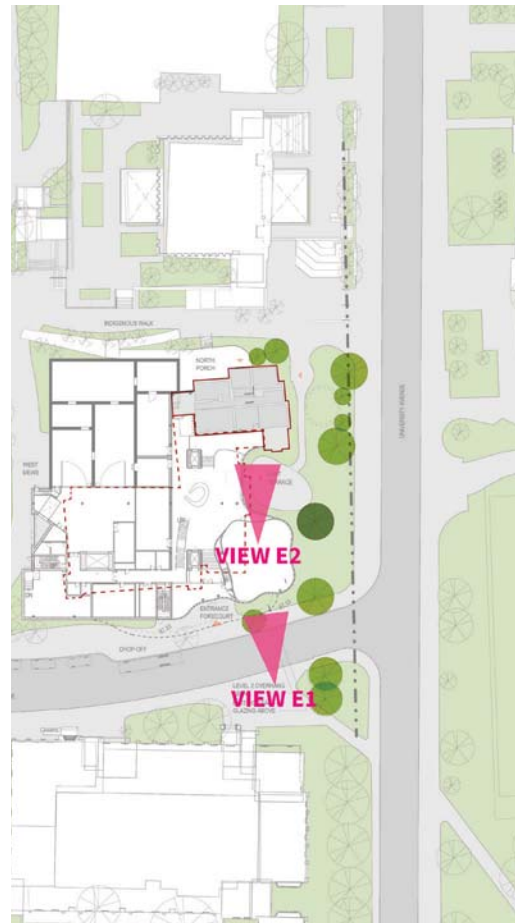


98. TOP Perspective View D: Rendering of the proposed south elevation (Source: KPMB, 2023)

99. BOTTOM Perspective View D: Current image of south elevation (Source: Google Street View, 2020)

100. Key Map indicating View D

**View E - South Elevation**



- 102. TOP Perspective View E2: Rendering of the proposed south elevation (Source: KPMB, 2023)
- 103. BOTTOM Perspective View E1: Current image of south elevation (Source: KPMB, 2023)

101. Key Map indicating View A

## **Mitigation Measures**

- The new addition and its proposed new entrances at Bader Lane and at the north of the AEAC will animate the campus and the important corner on which the AEAC is located.
- The new addition's size and massing will allow Queen's to expand its internationally recognized conservation, teaching, and exhibition spaces while establishing a vital hub for indigenous art, culture, and programming. The recessed area between the southern portion of the new addition and the Historic House will not detract from or impair the heritage value and understanding of the Character-Defining Elements and importance of the property. It will also physically manifest the project's intention to present indigenous and western world views side-by-side.
- The setbacks of the new addition will allow for continued views of all of the Historic House from the public realm and from key vantage points along University Avenue.
- The massing of the new addition as seen from Bader Lane will correspond to the massing of Ban Righ Hall, and they will work together to create a gateway from Bader Lane to University Avenue.
- The materials of the new addition have been selected for their complimentary texture and appearance within the existing material palette of the campus, the Historic House, and its heritage adjacencies. The materials do not seek to mimic what is existing and they will be a distinct layer of change from the Historical House. Final materials and colour selections will be included in the Conservation Plan for city approval.
- The proposal includes rewilded meadowed landscape and indigenous gardens which will enrich the University Avenue landscape and create a visible indigenous presence at an important campus location. Large plantings which obscure views to the Historic House will not be introduced. A new tree is proposed to replace an existing yet ailing tree at University Avenue.
- Documentation of all additions proposed for removal and the gallery as a whole is recommended to provide an archival record of the evolving AEAC property and its history.

## Heritage Adjacencies and Neighbourhood and Community Context

The proposed development is part of the continued development of University Avenue within the Queen's campus and its context within the City of Kingston. The contemporary style of the proposed development makes it a distinct and contextually appropriate addition to this important cultural landscape. It does not seek to replicate adjacent buildings, and the proposed material and massing will introduce a new and complimentary layer of design to University Avenue and Bader Lane. Landscaping and gathering spaces are also proposed at the north and south of the site, activating the surrounding area and connecting it with other campus spaces.

### **Potential Impacts**

The proposed addition will have a positive impact on the surrounding campus context by expanding programming, improving landscaping, increasing animation, and creating additional outdoor gathering space at Queen's.

### **Mitigation Measures**

Construction staging and management should be planned to minimize disruption and access to the identified cultural heritage resources adjacent to the AEAC and in the surrounding campus area. A Vibration Impact Assessment and a Vibration Plan should be prepared. Final materials should be selected which are complimentary and distinct from the adjacent heritage resources.



## 5 CONCLUSIONS AND RECOMMENDATIONS

The Agnes Reimagined project has been designed to expand the programming opportunities of this world renowned art gallery and conservation space while providing a unique opportunity for reconciliation and indigenous expression on campus. While the proposed addition is, it is contextually appropriate and will ensure that the heritage value of the property is maintained. The proposed new addition draws a clear distinction between what is historic and what is new and is compatible in terms of its massing with the exterior form of the historic building and its setting. The conservation measures for the site prioritize rehabilitation while allowing for a new and contextually appropriate contemporary building. The full retention of the Historic House and its identified Character-defining Elements will also allow for a new understanding of the development and evolution of the Queen's University Campus.

The proposal will also allow for a significant expansion of the AEAC and will facilitate increased indigenous and community programming, while animating an important corner in the city.

This HIS recommends that:

- Future planning for the project should also consider the necessary protections for the Historic House and its adjacencies during all demolition and construction activities;
- A Vibration Impact Assessment should be prepared and a Vibration Plan should be put into place prior to any demolition or construction.
- A Conservation Plan which includes the above information, along with all identified rehabilitation measures for the Historic House and design details for all new elements which impact the Historic House should be prepared and submitted to the City of Kingston for approval.
- A documentation report which includes information and photographs of all additions to be removed should be completed prior to any demolition, for archival purposes.
- The Character-Defining Elements which are proposed for removal should be salvaged and safely stored for any potential future reinstatement.

The proposed conservation measures and impacts of this project are in keeping with best heritage practices and will augment the Cultural Heritage Landscape of Queen's University Campus, the identified Character-Defining Elements of the AEAC, and its adjacencies. This proposal will result in a project of national importance and create an Important opportunity for indigenous reconciliation and excellence in the arts.

The following addendum has been prepared by ERA Architects to outline all known changes and any anticipated changes to the Agnes Etherington Art Centre (AEAC) project since the September 2023 Heritage Impact Statement (HIS) submission to the City of Kingston.

1. REPLACEMENT OF 2-BY-5 FRENCH WINDOW AND REMOVAL OF IRON BALUSTRADE ON NORTH ELEVATION

The AEAC features two sets of 2-by-5 French windows on the Historic House which are listed as Character-Defining Elements. One is located at the primary (east) elevation, and another is located on the north elevation. The 2-by-5 French window at the north elevation and its associated iron balustrade are proposed for removal to accommodate a new accessible door. The window slated for removal is in poor but repairable condition: The outside has been painted shut, the paint is peeling, and the wood has started deteriorating. The high bottom rail is in need of replacement along with the bottom sections of the stiles. The putty is cracked and missing in several locations, suggesting that water is getting into the muntin bars.

While the 2-by-5 French window at the north façade can be repaired, it does not meet requirements for an accessible door. Its existing geometry cannot provide the 965mm clear width required for new accessible doors by the Queen's Accessibility Standards (QAS), the 860mm clear width required by the QAS for retrofitted doors, or the 960mm required by the Ontario Building Code. Possible modifications were explored, but it cannot be appropriately modified while maintaining its original geometry. No other locations on the north facade were possible for the inclusion of a new accessible door and other interventions were not possible owing to the limited number of existing openings and Queen's programming requirements. Therefore, a new accessible door is being proposed in this location with a new design which will maintain the French window's geometry and attributes as closely as possible, in a style common among buildings of this style.

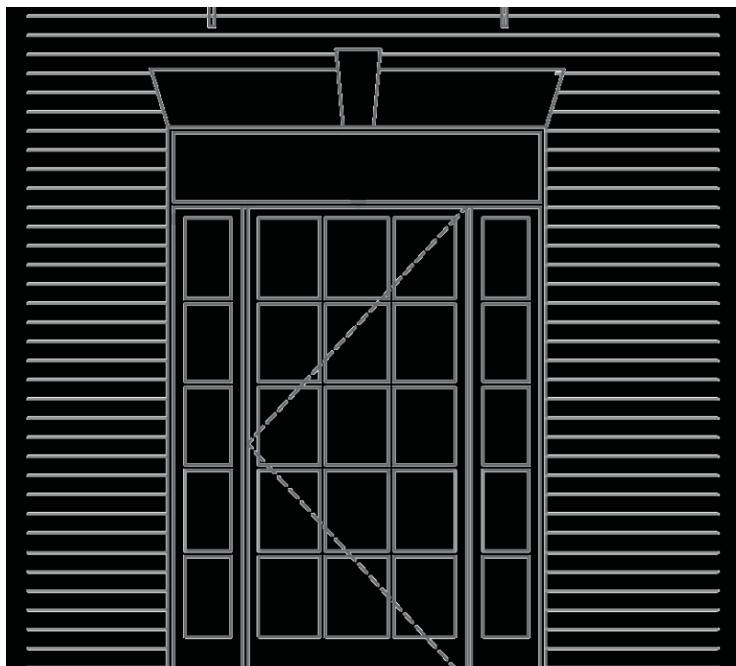


Fig. 1 Proposed replacement door design for French window at north Elevation.

The proposed location will avoid the need to make additional masonry openings or alter existing masonry openings while accommodating the AEAC's programming. As there won't be any storms on this door, the new design will be double glazed with a new transom which will match the existing appearance. A proposed design is included with this addendum on page 1. New door hardware will also be introduced which will meet accessibility standards and have a sympathetic and compatible appearance with the existing heritage elements of the Historic House.

The 2-by-5 French window and its associated iron balustrade will be removed and stored in a secure, climate-controlled location to maintain their identified heritage value. Prior to being stored, the French window will be repaired. The repair will happen in situ, if possible, but it is likely that the window will have to be removed from its hinges/original location for the repair.

## 2. REPLACEMENT OF 1-BY-3 FRENCH WINDOW AND REMOVAL OF IRON BALUSTRADE ON SOUTH ELEVATION

The AEAC features 1-by-3 French windows on the Historic House which are listed as Character-Defining Elements: one is located at the south elevation of the second floor of the Historic House and has an associated iron balustrade. This 1-by-3 French window and its associated balustrade are proposed for removal to accommodate a new accessible door leading to a proposed new balcony area, which is part of the new addition to the AEAC.

The 1-by-3 French window proposed for removal is in poor but repairable condition: there is peeling paint and wood deterioration, and it is not able to close properly. While the 1-by-3 French window can be repaired it cannot be modified to meet requirements for an accessible door. Its existing geometry cannot provide the 965mm clear width required for new accessible doors by the Queen's Accessibility Standards (QAS), the 860mm clear width required by the QAS for retrofitted doors, or the 860mm required by the Ontario Building Code. Possible modifications were explored, but it cannot be appropriately modified while maintaining its original geometry. No other locations were identified to provide access to the balcony from the proposed new artist residence owing to the limited number of existing openings on the Historic House and Queen's programming requirements. Therefore, a new accessible door is being proposed in this location with a design which will maintain the windows geometry as closely as possible, in a style common among buildings of this style. No alterations are being proposed to the size of the masonry opening. The design details of this door are in development and will be submitted for input and approval from the Heritage Staff at the City of Kingston. New door hardware will also be introduced which will meet accessibility standards and have a sympathetic and compatible appearance with the existing heritage elements of the Historic House.

The removed 1-by-3 French window and its associated iron balustrade will be removed and stored in a secure, climate-controlled location, to maintain their identified heritage value. Prior to being stored, the French window will be repaired. The repair will happen in situ, if possible, but it is likely that the window will have to be removed from its hinges/original location for the repair.

## 3. MATERIALS

Materials proposed for the new additions to the AEAC are intended to be in keeping with the material palate and colours of the Historic House and the Queen's campus. New materials include honed grey

granite and light grey/silver toned corrugated metal. The primary elevation of the new addition will include glazing and an aluminum louvre system, painted with a white or light grey Corafon paint, or a wooden pole system. The previous HIS identified this wooden pole material as tamarack, but the proposal has been revised to identify Ontario cedar as the preferred wood option. Proposed materials can be found on page 4 of this addendum.

#### 4. ROOF VENTILATION, EXHAUST, AND MECHANICAL PENTHOUSE

Revisions to the placement of ventilation, exhaust, and mechanical equipment have occurred since the first HIS submission. New equipment is being proposed on the secondary roof at the rear of the Historic House. This location has been chosen to provide the required services to the Historic House, while minimizing the visual impact of the equipment. It will not be visible from grade.

A new mechanical penthouse is also being introduced, and while it has been shown on the drawings submitted with the September 3 HIS, a revised SPA submission will reflect a new location. These details have been updated in a revised roof plan (A2.106) which is included on page 5 of this addendum.

The orientation of the new mechanical penthouse has been adjusted to better align with the existing mechanical penthouse on the roof of the 2000s addition, and the orientation and position of the required generator have been adjusted at the west portion of the roof to accommodate servicing requirements. The generator will be concealed with a screen to “minimize noise and visual impacts” per Queen’s Campus Master Plan Design Guidelines. The design of this screen is still under development, but the choice will be muted, within the overall building palette, and designed to minimize its visual impact.

#### 5. HISTORIC HOUSE ROOF

In the past two months there have been leaks in the flat roof of the Historic House which have impacted on the AEAC’s office spaces. An evaluation is under way to determine the cause of these incursions and whether these roof areas can be repaired or if any replacement will be required. Any repair and/or replacement will be undertaken in a manner which is in keeping with the original design and the existing roof materials, in consultation with Heritage Staff at the City of Kingston.

#### 6. NEW SIGNAGE

New signage will be introduced to the AEAC and is proposed at three locations: along University Avenue, on Bader Lane, and affixed to the new accessible ramp at the north side of the Historic House. These proposed locations are included on page 6 of this addendum. The design of this signage is still under development, but it will be designed in a manner which respects the materiality and palate of the Historic House and the surrounding campus, and it will not be attached to the Historic House or obscure views to Character-Defining Elements. The final designs will be submitted to Heritage Staff at the City of Kingston for approval.



# EXTERIOR MATERIAL LEGEND

MATERIAL	TAG	DESCRIPTION	LOCATION	IMAGE	COLOR RANGE
Granite	ST-2	<p>Manufacturer: Polycor                      Type: Granite, "Concord Gray"                      Finish: Honed. Thickness: 38 mm slab or as noted.                      Dimensions: as indicated on drawings.                      For other criteria see General Notes for all Stone types.</p>	Base / Grade		
Wood Poles (Alternate)	W-2	<p>Eastern White Cedar Wood                      Poles (175mm to 225mm smallest OD)                      Bark removed, all branching removed flush.                      Poles to be treated with clear exterior line treatment, CHCCO or approved equal.                      Flame spread of 25 or less.</p>	Level 1,2 & 3		
Aluminum Louvers	M-1	<p>Type: aluminum tubes                      Dimensions and quantity as indicated on drawings.                      Corflon paint.</p>	Level 1,2 & 3		 WHITE TO LIGHT GREY TONES
Corrugated Metal	MT-1	<p>Type: 63mm corrugated aluminum vertical siding                      Dimensions and quantity as indicated on drawings.                      Corflon paint.</p>	Level 1,2 & 3	 	 LIGHT GREY/SILVER TONES









**Agnes Reimagined**  
 36 University Ave  
 Kingston, ON K7L 3N6

**ISSUED FOR SITE PLAN APPROVAL #2**  
 OCTOBER 30, 2023

**SUSTAINABILITY & ENERGY** CROSSEY Engineering Ltd.  
 1777 St-Jacques Ave, Vancouver, BC, V6J 1K7  
 2358 Sheppard Ave. E. Suite E-351, Toronto, ON, M2J 4Y1

**LIGHTING DESIGN** TILLOTSON Design Associates  
 40 North St., #703, New York, NY, 10013, United States

**AV DESIGN** MULVEY & BANANI International Inc.  
 90 Sheppard Ave. E. Suite 500, Toronto, ON M2N 3A1

**IT** MULVEY & BANANI International Inc.  
 90 Sheppard Ave. E. Suite 500, Toronto, ON M2N 3A1

**CIVIL** WSP  
 25 York St, Toronto, ON M5J 2V5

**ARCHITECT** KPMB Architects  
 35 King St E, Suite 200, Toronto, ON, M5A 1L6

**STRUCTURAL** ENTUITIVE  
 200 University Ave, 7th Floor, Toronto, ON, M5H 3C6

**MECHANICAL** CROSSEY Engineering Ltd.  
 2250 Sheppard Ave. E. Suite E-331, Toronto, ON, M2J 4Y1

**ELECTRICAL** MULVEY & BANANI International Inc.  
 90 Sheppard Ave. E. Suite 500, Toronto, ON M2N 3A1

**HERITAGE** ERA ARCHITECTS  
 832 Church St, #600, Toronto, ON, M4Y 2E1

**LANDSCAPE** PFS

**ARCHITECT** KPMB Architects  
 35 King St E, Suite 200, Toronto, ON, M5A 1L6

**STRUCTURAL** ENTUITIVE  
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 90 Sheppard Ave. E. Suite 500, Toronto, ON M2N 3A1

**HERITAGE** ERA ARCHITECTS  
 832 Church St, #600, Toronto, ON, M4Y 2E1

**LANDSCAPE** PFS

1. THE CLIENT HAS REVIEWED THE INFORMATION CONTAINED HEREIN AND HAS APPROVED THE INFORMATION FOR THE PURPOSES OF THE PROJECT. THE CLIENT'S APPROVAL DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

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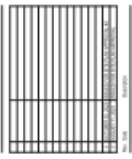
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**KPMB**  
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 36 University Ave  
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 Fax: 613-346-5001  
 www.queensu.ca

**COVER SHEET**

Project No. \_\_\_\_\_  
 Sheet No. \_\_\_\_\_ of \_\_\_\_\_  
 Date: \_\_\_\_\_

SP-A0.000



















































## AEAC Window Conservation Approach

As stated in the City of Kingston's 2012 Policy of Window Renovations in Heritage Buildings, Kingston recognizes that Period Windows are an integral component of heritage buildings, and that their conservation is of great importance to the City's character. The rehabilitation of the AEAC will include the retention and refurbishment of existing period windows, apart from one set of French doors at the north façade. The policy also acknowledges that the thermal efficiency of windows is an important part of improving the energy use of a building, and that older windows can be upgraded to maximize their efficiency. The section below outlines the strategy for the window at the Historic House portion of the AEAC. A condition assessment of the original French door proposed for removal can be found in the HIS

- Where exterior storm windows are missing or have been replaced with unsympathetic aluminum framed storms, new 1-over-1 wood frame storm windows are proposed for single glazed windows at the first and second floor. These storm windows will be historically appropriate and will have a single horizontal division that lines up with the interior sash. This design will maximize the visibility of the existing original windows and the new exterior storms will be installed in a manner which is reversible and causes minimal impact to the existing historical windows.
- The new exterior storm windows will be fastened into the wood frame, to match the location within the opening of the existing wood sashes that are to be retained. Although the fasteners will make holes in the wood frame, these holes will be easily repaired with wood filler if the storm windows are ever removed. There will be no impact on the existing wood sashes.
- The original French door proposed for removal will accommodate a new accessible entrance, which responds to existing patterns of travel on the campus and is in keeping with the Queen's University Accessibility Standards. While this intervention will require the removal of a Character-Defining Element, another example of the French doors and its associated iron balustrade also exist at the primary elevation of the house along University Ave. These Character-Defining Elements will be refurbished and remain in-situ in their more prominent location on the Historic House. The proposed removal is a reversible intervention, and the original doors will be salvaged and safely stored.
- The removal of this Character-Defining Element will not impact the identified heritage value of the property as another more prominent example of these attributed will remain on the primary facade of the Historic House. The proposed new intervention will be sensitively designed to minimize any visual or physical impacts.
- The new accessible door at the north elevation will be designed in a manner which is sensitive and sympathetic to the original door. The masonry opening will not be altered and a new door will be installed to meet the Queen's Accessibility Standards requirement for a 950mm clear door opening. Design details will be finalized in the conservation plan, and new hardware will be selected in keeping with the spirit of the existing Historical House and its existing fixtures.

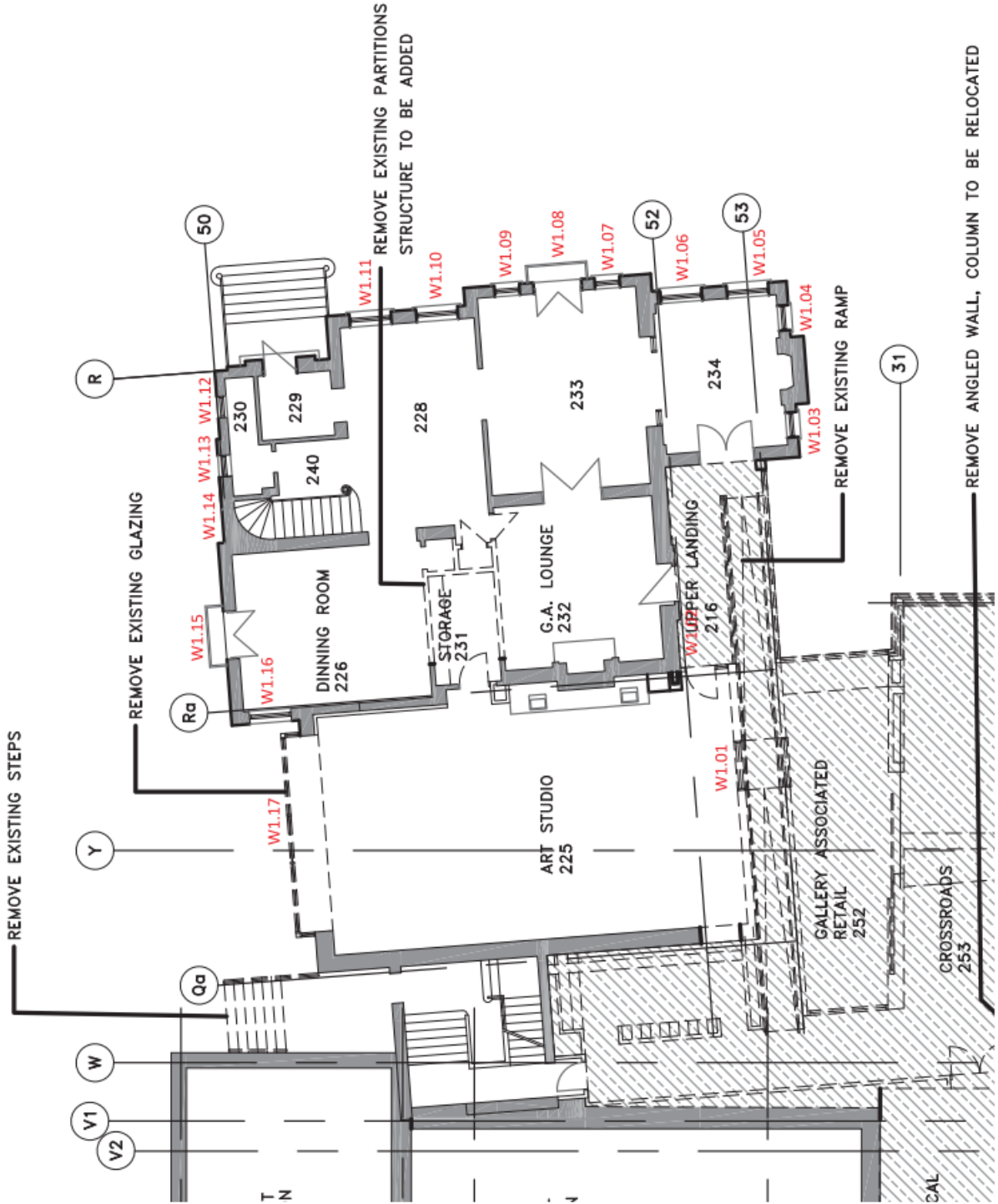
Agnes Etherington Art Centre: Window Inventory

Type	Description	Location	Proposed Strategy
Type 1	Single-glazed wood window at basement	WH0.01, WH0.03, WH0.04	Retain and refurbish - no storm to be added.
Type 2	Opening infilled w. masonry	WH0.02, WH0.05, WH0.06, WH0.07, WH1.14, WH2.02	To be left as is.
Type 3	Non-original window	WH1.01, WH1.17	New openings created in the 2000s renovation. Openings to be adapted.
Type 4	Infilled opening	WH1.02	Re-open infilled opening and convert to doorway.
Type 5	Wood window and exterior wood storm	WH1.03, WH1.04, WH1.08, WH1.12, WH1.13, WH2.05, WH2.08, WH2.09, WH2.15, WH2.16	Retain and refurbish wood window and exterior wood storm.
Type 6	Single-glazed wood window	WH1.05, WH1.06, WH1.07, WH1.09, WH1.10, WH1.11, WH1.16	Retain and refurbish and add new wood storm.
Type 7	French door with wood frame and storm window	WH1.15	Replace w. accessible glazed door to match existing style.
Type 8	Single-glazed wood window with aluminum storm window	WH2.01, WH2.03, WH2.04, WH2.06, WH2.07, WH2.10, WH2.11, WH2.12, WH2.13, WH2.14, WH2.17, WH2.18, WH2.19, WH2.20	Retain and refurbish single-glazed wood window and replace aluminum storm w. new wood storm.

















CLIENT:



**REVISIONS**

1. All dimensions and materials are to be verified on field.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2023.08.28	ISSUED FOR PERMITS AND CONSTRUCTION		
2	2023.09.01	ISSUED FOR PERMITS		
3	2023.09.01	ISSUED FOR PERMITS		
4	2023.09.01	ISSUED FOR PERMITS		
5	2023.09.01	ISSUED FOR PERMITS		
6	2023.09.01	ISSUED FOR PERMITS		
7	2023.09.01	ISSUED FOR PERMITS		
8	2023.09.01	ISSUED FOR PERMITS		
9	2023.09.01	ISSUED FOR PERMITS		
10	2023.09.01	ISSUED FOR PERMITS		



# Report Number HP 24-004

## Exhibit C

OF: L2.00

**PROJECT NAME**  
QUEEN'S UNIVERSITY AGRI  
ETHERINGTON ART CENTRE

**DRAWING TITLE**  
LAYOUT PLAN

**PFS PROJECT NUMBER**  
21037

**DATE**  
2023.08.28

**DRAWN BY**  
CLM

**CHECKED BY**  
SM

**SCALE**  
1:200

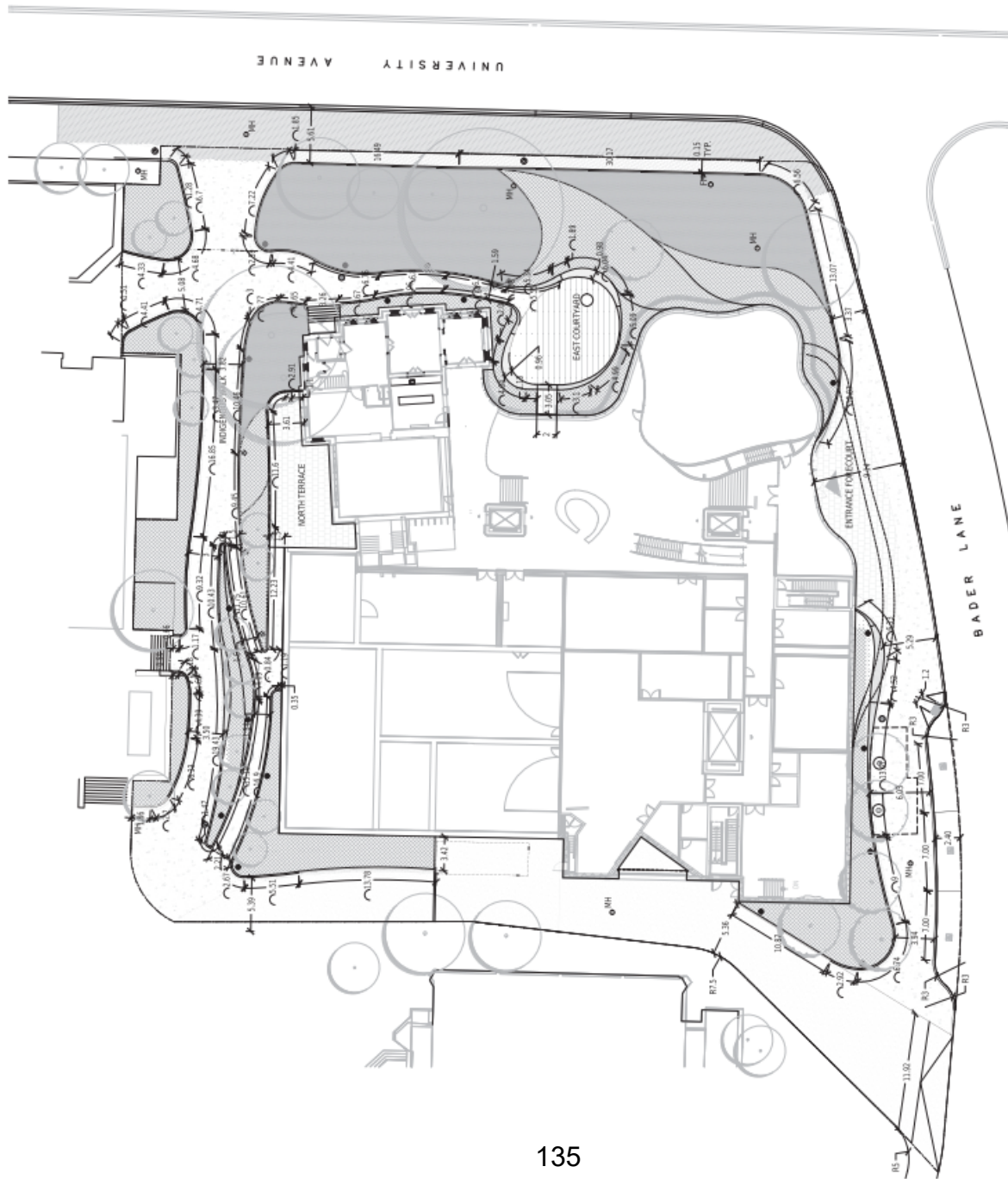
**DWG. NO.**

**LEGEND**

	LIMIT OF WORK
	P1 PAVING TYPE 1 BASE PRECAST CONCRETE UNIT PAVEMENT
	P2 PAVING TYPE 2 BASE C/P CONCRETE, MEDIUM SAND/BLAST
	P3 PAVING TYPE 3 BASE ASPHALT
	P4 BASE Limestone PAVING ALTERNATE CUSTOM PRECAST CONCRETE PLANK
	P5 BASE GRANITE PAVING ALTERNATE WOOD PAVEMENT
	EXISTING CONC. SOREWALK
	PRECAST CONCRETE
	LANDSCAPE PLANTING
	LAWN
	EXISTING TREE
	PROPOSED TREE
	C/P CONCRETE CURB
	TRASH RECEPTACLES
	TREE GRATE
	BIKE RACK

**LAYOUT NOTES**

- ALL DIMENSIONS/MEASUREMENTS TO BE VERIFIED ON FIELD.



1. LAYOUT PLAN  
SCALE: 1:200

CLIENT:



**IMPORTANT NOTES:**  
 The information on this drawing is the property of PFS Studio and shall not be used for any other project without the written consent of PFS Studio. All work shall be done in accordance with the Ontario Building Code and the Ontario Fire Code. The contractor shall be responsible for obtaining all necessary permits for the drawing.

NO.	DATE	DESCRIPTION
1	2021	ISSUED FOR PERMIT
2	2021	ISSUED FOR PERMIT
3	2021	ISSUED FOR PERMIT
4	2021	ISSUED FOR PERMIT
5	2021	ISSUED FOR PERMIT
6	2021	ISSUED FOR PERMIT
7	2021	ISSUED FOR PERMIT
8	2021	ISSUED FOR PERMIT
9	2021	ISSUED FOR PERMIT
10	2021	ISSUED FOR PERMIT



STAMP:

Report Number HP-24-004

Exhibit C

OF:

L3.00

PROJECT NAME:  
 QUEENS UNIVERSITY AGRI-  
 ETHERINGTON ART CENTRE  
 DRAWING TITLE:  
 GRADING LANDSCAPE  
 FEATURES  
 PFS PROJECT NUMBER:  
 21001  
 DATE:  
 2021  
 DRAWN BY:  
 KLM  
 SCALE:  
 1:200  
 CDS NO.:

- LEGEND**
- LIMIT OF WORK
  - SLOPE PERCENTAGE
  - STORMWATER FLOW
  - EXISTING GRADE
  - DESIGN GRADES
  - EX - EXISTING GRADE
  - DES - DESIGN GRADE
  - SURVEY GRADES (PARK DRIVE, HWY, MARSHALL DRIVE, PROPERTY LINE, ELEVATIONS)

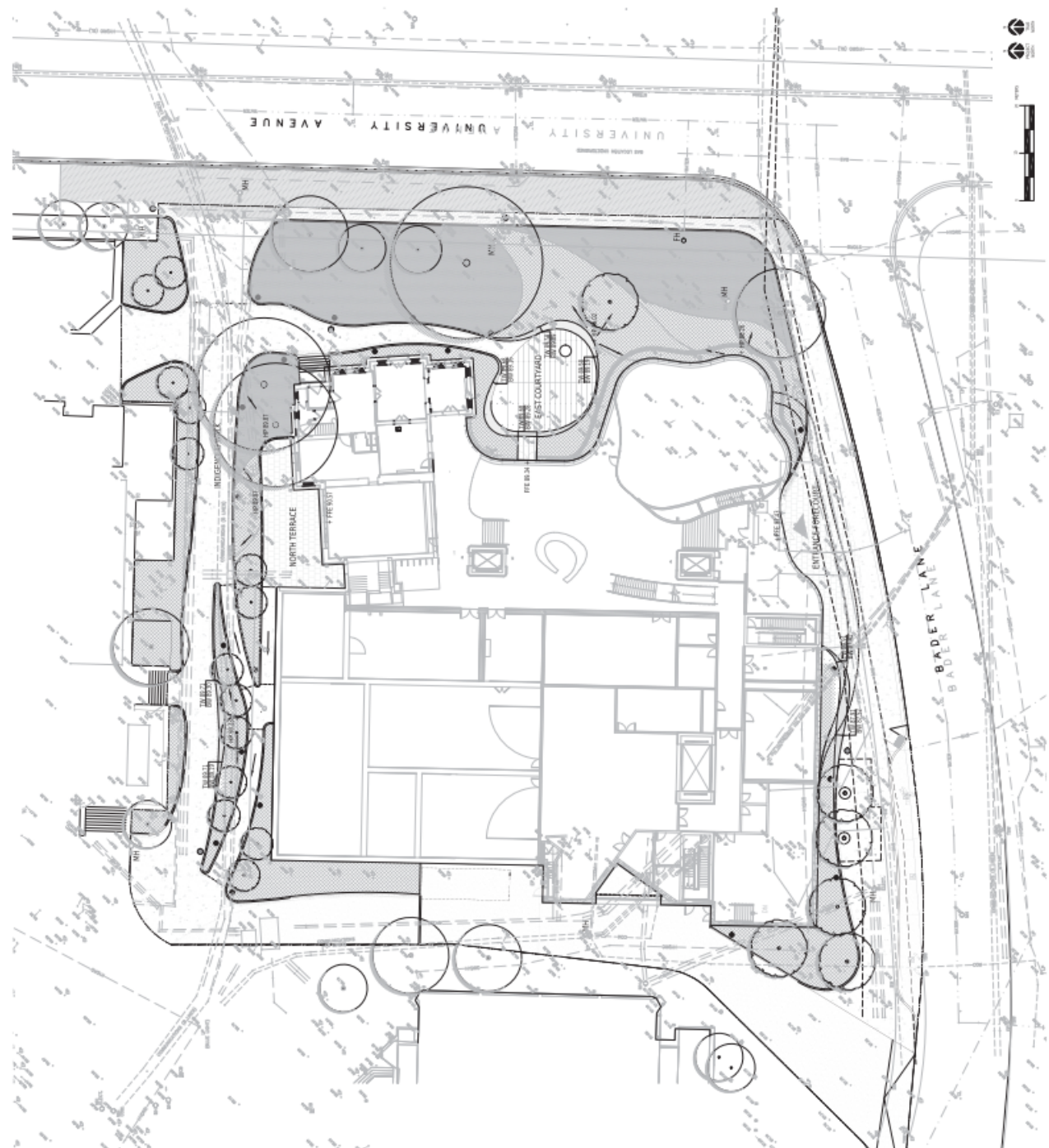
**NOTE:**  
 5% MAX SLOPE AT PAVED SURFACES,  
 10% MAX SLOPE AT DROP CURB,  
 30% MAX SLOPE AT PAVING/GRAIN

**GRADING KEY:**

- CB CATCH BASIN REFER TO CIVIL
- BS BOTTOM OF STEP STAIR ELEVATION
- TS TOP OF STEP STAIR ELEVATION
- BW BOTTOM OF WALL ELEVATION
- TW TOP OF WALL ELEVATION
- FG FINISH GRADE
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB ELEVATION
- BC BOTTOM OF CURB ELEVATION
- TB TOP OF BENCH TOP ELEVATION
- FC FLUSH CURB
- RC RAISED CURB

**GRADING NOTES:**

1. REFER TO CIVIL DRAWING FOR ALL SITE GRADING.
2. REFER TO SURVEY CITY BENCH MARK FOR ORIGINAL POINT OF BEGINNING.
3. ALL GRADING SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
4. SMOOTH TRANSITION BETWEEN THE NEW AND THE EXISTING WORK AND NO POINING OCCURS.
5. CONTRACTOR SHALL ADJUST ALL UTILITY ELEMENTS LIMITED TO MANHOLES, CATCH BASINS, INLETS, DRAIN COVERS, ETC., TO BE FLUSH WITH ALL FINAL FINISH GRADES.
6. CONTRACTOR SHALL LAYOUT THE ELEVATIONS OF ALL SITE ELEMENTS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO START OF CONSTRUCTION.
7. ALL GRADING SHALL ENSURE POSITIVE SURFACE DRAINAGE AND UNIFORM SLOPES IN ALL AREAS. IN PARTICULAR, ALL GRADING SHALL BE COMPLETED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND STRUCTURES.
8. CONTRACTOR SHALL REPORT ALL CONFLICTS FOR RESOLUTION PRIOR TO FINAL GRADES.
9. FOR CB RM ELEVATIONS, REFER TO CIVIL DRAWINGS AND CIVIL ENGINEER'S DRAWINGS.
10. 5% MAX SLOPE AT PAVED SURFACES, 10% MAX SLOPE AT DROP CURB, 30% MAX SLOPE AT PAVING/GRAIN.
11. FINISH GRADES ARE HEAVY ARE TO BE SMOOTH AND CONTINUOUS WITH NO ABRAPT CHANGES IN ANGLE. NO SEGMENTATION.



1. GRADING LANDSCAPE FEATURES  
 SCALE: 1:200









CLIENT:



DISCLAIMER: This drawing is part of a set of drawings for the purpose of PFS. It is not to be used for construction or other purposes. The client is responsible for all dimensions and specifications on this job. The client is responsible for any discrepancies between the drawings and the site.

NO.	DATE	DESCRIPTION
1	10/10/2023	ISSUED FOR PERMITS
2	10/10/2023	ISSUED FOR PERMITS
3	10/10/2023	ISSUED FOR PERMITS
4	10/10/2023	ISSUED FOR PERMITS
5	10/10/2023	ISSUED FOR PERMITS
6	10/10/2023	ISSUED FOR PERMITS
7	10/10/2023	ISSUED FOR PERMITS
8	10/10/2023	ISSUED FOR PERMITS
9	10/10/2023	ISSUED FOR PERMITS
10	10/10/2023	ISSUED FOR PERMITS

**PFS STUDIO**  
 LANDSCAPE ARCHITECTURE  
 1100 UNIVERSITY AVENUE  
 STAMFORD, CT 06907  
 TEL: 860.359.1100  
 WWW.PFSSTUDIO.COM

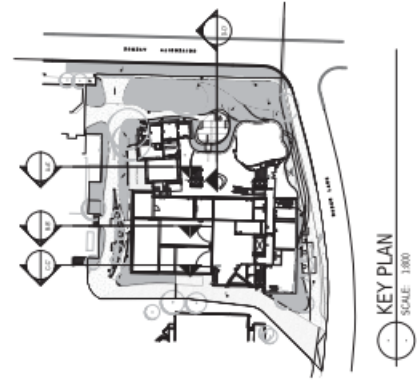
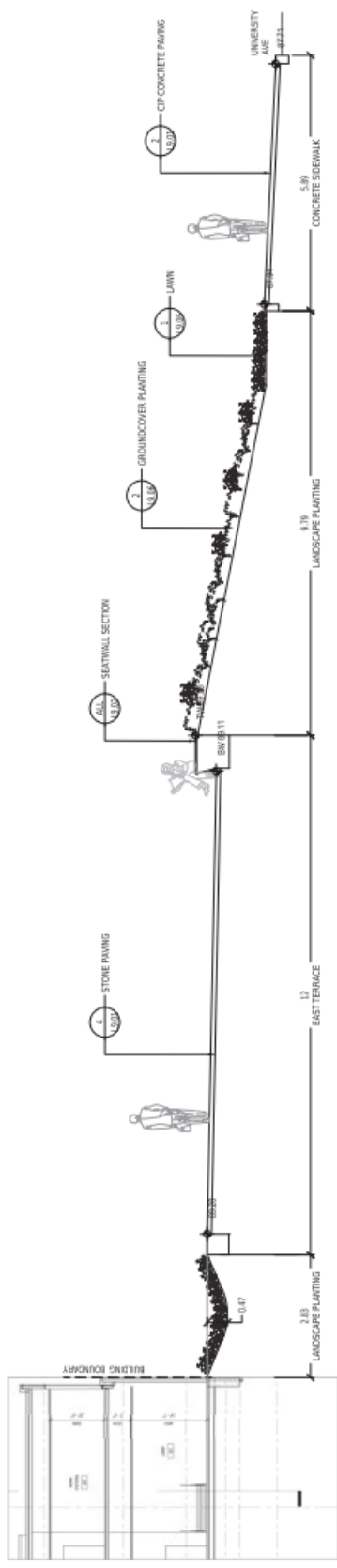
Report Number **HP 24-004**

PROJECT NAME  
 QUEENS UNIVERSITY AGRI-  
 ETHERINGTON ART CENTRE

DRAWING TITLE  
**LANDSCAPE SECTIONS**

PFS PROJECT NUMBER: 21007  
 DATE: 2023.10.10  
 DRAWN BY: CHLOE WOOD  
 CHECKED BY: SUE WOOD  
 SCALE: 1:50  
 DWS NO.: L7.01

OF: 1



Site Visit Photos from 6-14-23 & 8-18-23:











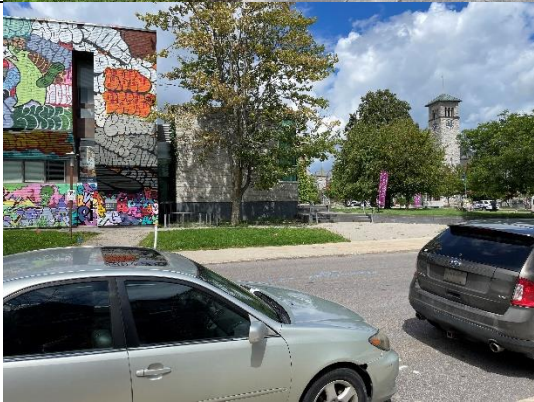














# Kingston Heritage Properties Committee

## Summary of Input from Technical Review Process

### P18-073-2023

Committee Members	Comments Enclosed	No Comments Provided	No Response Received
Councillor Glenn			X
Councillor Oosterhof			X
Jennifer Demitor	X		
Gunnar Heissler			X
Alexander Legnini			X
Jane McFarlane	X		
Ann Stevens	X		
Peter Gower	X		



City of Kingston  
216 Ontario Street  
Kingston, Ontario  
Canada, K7L 2Z3

Website: [www.cityofkingston.ca](http://www.cityofkingston.ca)

TTY: Dial 613-546-4889

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Date:	September 12, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Heritage Permit
File Number:	P18-073-2023
Property Address:	36 University Avenue

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Description of Proposal:

An application for alteration under Section 37 of the Ontario Heritage Act (P18-073-2023), as per the Queen's Easement Agreement, has been submitted to request approval to demolish select additions of the museum (specifically the 1974, 1989 and the southeast portion of the 2000 addition) and replace those additions with a three-storey glazed, tiered addition along the south elevation that steps down to a one storey addition along the eastern elevation as well as a glazed two storey addition that connects to the historic Agnes Etherington House, and a three storey addition comprised of corrugated metal with limited glazing along the northwestern and western facades of the building.

Comments for Consideration on the Application:

Agnes Etherington complex. I support all f the work to be done on the house, as long as it is done to the highest standards (which Queen's work usually is) and that any changes necessary are able to be reversed. I have concerns with the expansion of the Art Centre. I do not believe it should impinge on the integrity of the house in any way. Access between the two should be minimal and not intrusive at all. The height of the new building should be no higher than Ban Righ, or Kingston Hall. It should not be a backdrop to the Etherington house as you walk from Union, and it should not hide it when you come from Stuart Street or Bader Lane. I would rather see a long, low building which reflects Queen's traditional architecture.

Recommended Conditions for the Application:



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TTY: Dial 613-546-4889

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Date:	November 14, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jennifer Demitor
Application Type:	Heritage Permit
File Number:	P18-073-2023
Property Address:	36 University Avenue

---

Description of Proposal:

An application for alteration under Section 37 of the Ontario Heritage Act (P18-073-2023), as per the Queen's Easement Agreement, has been submitted to request approval to demolish select additions of the museum (specifically the 1974, 1989 and the southeast portion of the 2000 addition) and replace those additions with a three-storey glazed, tiered addition along the south elevation that steps down to a one storey addition along the eastern elevation as well as a glazed two storey addition that connects to the historic Agnes Etherington House, and a three storey addition comprised of corrugated metal with limited glazing along the northwestern and western facades of the building.

Comments for Consideration on the Application:

I find the thought that has gone into the project commendable. I think using the wood poles adds a poetic contextual element as well as tactility and human scale to the facade. I'm not convinced replacing them with aluminum textured versions would have the same effect. It might be my recent tour of the local maximum security prison but think a lot of attention to patterning, shaping and even variation in sizing would be necessary to give the same feeling to the vertical aluminum louvers. Not that it couldn't be done. I won't be opposed if the design team was interested in proposing a third option that would have a similar function and feel to the wood poles or even looked at another colour besides white/grey for the aluminum ones. The other concern that I have is the railings for the terrace. It would be good to see them in one of the renders.

Recommended Conditions for the Application:





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Date:	November 15, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Ann Stevens
Application Type:	Heritage Permit
File Number:	P18-073-2023
Property Address:	36 University Avenue

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Description of Proposal:

An application for alteration under Section 37 of the Ontario Heritage Act (P18-073-2023), as per the Queen's Easement Agreement, has been submitted to request approval to demolish select additions of the museum (specifically the 1974, 1989 and the southeast portion of the 2000 addition) and replace those additions with a three-storey glazed, tiered addition along the south elevation that steps down to a one storey addition along the eastern elevation as well as a glazed two storey addition that connects to the historic Agnes Etherington House, and a three storey addition comprised of corrugated metal with limited glazing along the northwestern and western facades of the building.

Comments for Consideration on the Application:

The house, once owned by Agnes Etherington and donated to Queen's for an art gallery, is the only heritage building on that side of University Avenue. As such, its red brick construction gives colour to the streetscape and harkens back to the era in which it was built.

Over the years I've been interested how the gallery has expanded as its renowned collection grows. I understand the need for renovations and new building.

But the project, as it has so far been presented, really overwhelms the old building. The new glass-covered structure looks as if it is colliding with the heritage building. I'd really like to see if thought could be given to expand the building to the rear, perhaps even linking up with the music school building to have an arts hub. The glass would look stunning behind the heritage building, but also would give energy to that ugly back path of mixed surfacing materials. Accessible entrances would be easier there too. The University Avenue streetscape would still let Grant Hall and the heritage house to be prominent.

Am also concerned about heritage elements of the old house to be affected by someone living there The French doors need to be retained.

I'd also like to know if the Richarson/Benedickson families have been asked for their feedback. The late former Queen's chancellor Agnes Benidickson was Agnes

Etherington's niece. The Benidickson children live and work in the Peterborough/Ottawa areas.

Recommended Conditions for the Application:



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Website: [www.cityofkingston.ca](http://www.cityofkingston.ca)

TTY: Dial 613-546-4889

---

Date:	November 15, 2023
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	Heritage Permit
File Number:	P18-073-2023
Property Address:	36 University Avenue

---

Description of Proposal:

An application for alteration under Section 37 of the Ontario Heritage Act (P18-073-2023), as per the Queen's Easement Agreement, has been submitted to request approval to demolish select additions of the museum (specifically the 1974, 1989 and the southeast portion of the 2000 addition) and replace those additions with a three-storey glazed, tiered addition along the south elevation that steps down to a one storey addition along the eastern elevation as well as a glazed two storey addition that connects to the historic Agnes Etherington House, and a three storey addition comprised of corrugated metal with limited glazing along the northwestern and western facades of the building.

Comments for Consideration on the Application:

This massing of this proposal would present as less intimidating for Ban Righ Hall if the new three storey extension could be visually softened and possibly scaled down along the entire frontage on Bader Lane. As designed it seems to present a blocky wall and utilitarian face along much of Bader Lane and across from Ban Righ.

Recommended Conditions for the Application:

The recommendations in the ERA September 3, 2023 HIS should be followed.





**City of Kingston  
Report to Kingston Heritage Properties Committee  
Report Number HP-24-002**

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**To:** Chair and Members of the Heritage Properties Committee  
**From:** Jennifer Campbell, Commissioner, Community Services  
**Resource Staff:** Kevin Gibbs, Acting Director, Heritage Services  
**Date of Meeting:** December 20, 2023  
**Subject:** Notice of Intention to Designate under the *Ontario Heritage Act*  
**Addresses:** 101 & 103 Logan Street, 110 & 112 Ordnance Street, 114, 116 & 118 Ordnance Street, 124 Ordnance Street & 251 Sydenham Street, 201 Princess/30-32 Montreal Street, 207 Wellington Street and 4017 Unity Road  
**File Numbers:** R01-045-2023, R01-046-2023, R01-047-2023, R01-048-2023, R01-049-2023, R01-050-2023, R01-051-2023, R01-052-2023, R01-053-2023, R01-054-2023, R01-055-2023 and R01-056-2023

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**Council Strategic Plan Alignment:**

Theme: Corporate business

Goal: See above

**Executive Summary:**

Section 29 of the *Ontario Heritage Act* authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, that demonstrate cultural heritage value or interest. Council shall, before giving notice of its intention to designate a property, consult with its Municipal Heritage Committee.

This report provides background information regarding the evaluation of twelve (12) properties to determine their cultural heritage value and interest. As these properties were found to exceed the threshold established by the Province of Ontario for Designation under Part IV of the *Ontario*

December 20, 2023

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*Heritage Act*, Heritage Planning staff recommend serving the owners with a Notice of Intention to Designate those properties at 101 and 103 Logan Street, 110 and 112 Ordnance Street, 114, 116 and 118 Ordnance Street, 124 Ordnance Street and 251 Sydenham Street, 201 Princess Street/30-32 Montreal Street, 207 Wellington Street, and 4017 Unity Road.

The owners of the properties listed above have been provided with the draft designation by-laws and general information on heritage designations by registered mail. The owners were also invited to an open house on November 22, 2023, hosted by Heritage Planning staff. The properties meet the provincial criteria for evaluating cultural heritage value as set out in Ontario Regulation 9/06 and are thus recommended for designation.

The Notice of Intention to Designate and draft designation by-laws have been prepared in accordance with the recent amendments to the *Ontario Heritage Act*. Staff recommend serving Notice of Intention to Designate on the subject properties to ensure their conservation and to enable the City to provide support and resources to owners and tenants through the heritage permitting process and the Heritage Property Grant Program.

**Recommendation:**

**That** Kingston Heritage Properties Committee recommends to Council:

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 101 Logan Street, known as Mrs. Dawson's Tavern, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 101 Logan Street, attached as Exhibit B to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 103 Logan Street, known as Mrs. Dawson's Tavern, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 103 Logan Street, attached as Exhibit B to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 110 Ordnance Street, known as the Crowley House, as a property of cultural heritage value

December 20, 2023

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or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 110 Ordnance Street, attached as Exhibit C to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 112 Ordnance Street, known as the Crowley House, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 112 Ordnance Street, attached as Exhibit C to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 114 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 114 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 116 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 116 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 118 Ordnance Street, known as the Ordnance Street Terrace, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and



December 20, 2023

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**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 118 Ordnance Street, attached as Exhibit D to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 124 Ordnance Street, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 124 Ordnance Street, attached as Exhibit E to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 251 Sydenham Street, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 251 Sydenham Street, attached as Exhibit E to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 201 Princess Street/30-32 Montreal Street, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 201 Princess Street/30-32 Montreal Street, attached as Exhibit F to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 207 Wellington Street, known as the Crothers Building, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 207 Wellington Street, attached as Exhibit G to Report Number HP-

December 20, 2023

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24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act; and

**That** Council direct staff to serve a Notice of Intention to Designate the property located at 4017 Unity Road, as a property of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*, attached as Exhibit A to Report Number HP-24-002; and

**That** should no Notice of Objection be received by the Clerk of The Corporation of the City of Kingston within thirty (30) days of the publication of the Notice of Intention to Designate, the Designation By-Law for 4017 Unity Road, attached as Exhibit H to Report Number HP-24-002, be presented to Council for all three readings, and that staff be directed to carry out the requirements as prescribed under Section 29(8) of the Act.





December 20, 2023

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**Options/Discussion:**

This report provides background information regarding the reasons for designating seven (7) heritage resources that span over the following twelve (12) properties, in order to conserve their cultural heritage value and interest. This report recommends serving a Notice of Intention to Designate (Exhibit A) under Section 29 of the *Ontario Heritage Act* on the following properties:

- 101 and 103 Logan Street, known as Mrs. Dawson's Tavern;
- 110 and 112 Ordnance Street, known as the Crowley House;
- 114, 116 and 118 Ordnance Street, known as the Ordnance Street Terrace;
- 124 Ordnance Street and 251 Sydenham Street;
- 201 Princess Street/30-32 Montreal Street;
- 207 Wellington Street, known as the Crothers Building; and
- 4017 Unity Road.

Section 29 of the *Ontario Heritage Act* authorizes the Council of a Municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value or interest. Council shall, before giving notice of its intention to designate a property, consult with its Municipal Heritage Committee when the Council of a municipality has appointed a Municipal Heritage Committee (Kingston Heritage Properties Committee).

Through [Report Number HP-23-018](#), staff were directed to undertake the disposition of listed properties on the City of Kingston Heritage Register. The twelve properties noted here are part of the disposition process whereby staff are evaluating, reviewing and advancing for designation those currently listed properties that meet at least two of the Provincial Criteria for Determining Cultural Heritage Value or Interest (Ontario Regulation 9/06).

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

**Process**

Process for Designation as outlined in detail in [Report Number HK-21-004](#), the 2020 changes to the *Ontario Heritage Act* created a new two-tier appeal process for new designations. Following consultation with its heritage committee, Council can choose to serve a notice of its intention to designate a property under Section 29 of the *Ontario Heritage Act* on the property owner(s) and the Ontario Heritage Trust and publish a notice in the newspaper. Within 30 days of the publication of the notice in the newspaper, anyone can object by providing a notice of objection to the City Clerk.

Any notice of objection received by the Clerk's office is then sent to City Council for consideration. Council has 90 days to decide if it wishes to withdraw its Notice of Intention to Designate or not. Its decision is required to be served on the owner(s) and be published in the

December 20, 2023

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newspaper in the form of either a Notice of Passing (after giving final reading to the by-law) or a Notice of Withdrawal.

Regardless of whether an objection is received or not, the public is afforded a second opportunity to appeal the designation to the Ontario Land Tribunal within 30 days of the publication of the Notice of Passing. The Tribunal will review the appeal, hold a hearing and render a binding decision on the fate and content of the designation.

### **Cultural Heritage Analysis**

The twelve (12) properties being advanced for heritage designation are currently included on the City of Kingston Heritage Register as non-designated properties of cultural heritage value (also known as Listed properties). Council listed 101 and 103 Logan Street, 114, 116 and 118 Ordnance Street, 201 Princess Street/30-32 Montreal Street and 207 Wellington Street in 2010, while 124 Ordnance Street and 251 Sydenham Street were listed in 2013 and 4017 Unity Road in 2016.

As required by the recent (2022) updates to the *Ontario Heritage Act*, the properties were evaluated against the 'Criteria for Determining Cultural Heritage Value or Interest' in Ontario Regulation 9/06, which requires each property to meet at least two (2) of the nine (9) criteria to be considered for designation under the Act. It was determined that these properties satisfied two or more of the Regulation's evaluation criteria and accordingly met the requirements for designation under the Act, as described below.

All by-laws were prepared by staff or the consulting firm Heritage Studios. The Heritage Properties Working Group has reviewed the draft by-laws and consultant's reports (where applicable) and supports the designation of the subject properties as properties of cultural heritage value and interest. The full statements of significance, including lists of attributes are included in the draft designation by-laws attached as Exhibits B through H. Photographs of each property are included in Exhibit I.

All owners were contacted by registered mail on November 3, 2023. Included with the cover letter was a copy of the draft by-law and an information sheet on heritage designations. A public open house meeting was held on November 22, 2023, hosted by Heritage Planning staff, in the Heritage Resource Centre at City Hall. Two property owners and one member of the public attended the open house to ask questions regarding the process and implications of heritage designation. While property owners are not required to support the designation for it to move forward, feedback received from the owners is considered and added to the draft by-laws as appropriate. Staff received no written objections at the time of writing this report.

Once designated, the subject properties are eligible for the Heritage Property Grant Program and owners will be able to apply for funding of up to \$5,000 for eligible restoration works once every two years.

December 20, 2023

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**Conclusion**

Staff recommend proceeding with serving the Notice of Intention to Designate the twelve (12) properties noted above. Exhibit A presents the Notice of Intention to Designate, prepared in accordance with the requirements of the *Ontario Heritage Act*, for both publication in The Whig Standard newspaper and a more detailed notice to be published on the City's website.

It is recommended that the Notice be served by the Clerk as required by Sections 29(3) and (4) of the Act. Should no notice of objection be received by the Clerk within the thirty (30) day timeframe, staff recommends that Council approve the draft designation by-laws, attached as Exhibits B through H, and serve a Notice of Passing in accordance with Section 29(8) of the Act.

**Existing Policy/By-Law:**

*More Homes Built Faster Act, 2022* (Province of Ontario)

*More Homes, More Choice Act, 2019* (Province of Ontario)

*Ontario Heritage Act, R.S.O. 1990, C.O. 18* (Province of Ontario)

Ontario Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest (Ontario)

Ontario Regulation 385/21 – General Regulations (Ontario)

City of Kingston Official Plan

**Notice Provisions:**

Notice of Intention to Designate, Notice of Passing/Notice of Withdrawal must be served on the property owner(s) and the Ontario Heritage Trust and be published in a newspaper, having general circulation in the municipality, pursuant to Section 29 of the *Ontario Heritage Act*.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

Kevin Gibbs, Acting Director, Heritage Services, 613-546-4291 extension 1354

Joel Konrad, Manager, Heritage Planning, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage Services, 613-546-4291 extension 3233



December 20, 2023

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**Other City of Kingston Staff Consulted:**

None

**Exhibits Attached:**

- Exhibit A Notice of Intention to Designate
- Exhibit B Draft Designation By-Law – Mrs. Dawson’s Tavern
- Exhibit C Draft Designation By-Law – Crowley House
- Exhibit D Draft Designation By-Law – Ordnance Street Terrace
- Exhibit E Draft Designation By-Law – 124 Ordnance Street and 251 Sydenham Street
- Exhibit F Draft Designation By-Law – 201 Princess Street / 30-32 Montreal Street
- Exhibit G Draft Designation By-Law – Crothers Building
- Exhibit H Draft Designation By-Law – 4017 Unity Road
- Exhibit I Property Photographs

-- Website Version--

**Notice of Intention to Pass By-Laws to Designate  
The following properties to be of Cultural Heritage Value and Interest Pursuant to  
the Provisions of the *Ontario Heritage Act* (R.S.O. 1990, Chapter 0.18)**

**Take Notice** that the Council of The Corporation of the City of Kingston intends to pass by-laws under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, to designate the following lands to be of cultural heritage value and interest:

**101 Logan Street** (Part Lot 21 N/S Logan St, 22 NW/S Yonge St Plan 54 Kingston City Part 2 13R8868 S/T Interest in FR506397; City of Kingston, County of Frontenac), known as Mrs. Dawson's Tavern; and

**103 Logan Street** (Part Lot 21 N/S Logan St Plan 54 Kingston City Part 1 13R8868; City of Kingston, County of Frontenac), known as Mrs. Dawson's Tavern:

Spanning two properties and located on the north side of the street at the northwest intersection with Yonge Street in Portsmouth Village, Mrs. Dawson's Tavern is a representative example of a mid-19<sup>th</sup> century Regency style residence with little ornamentation. Its simple two-storey massing, hipped roof, central entranceways flanked by large windows and prominent location is typical of 19<sup>th</sup> century Regency dwellings in Ontario. The building was designed by William Coverdale and constructed in 1856 for Frances Dawson as a tavern. Coverdale is a well-known and prolific local architect who designed many landmark buildings in Kingston. Mrs. Dawson's Tavern is an example of his work on a modest building in a style not typically associated with Coverdale. The building's limestone construction, shallow setback from the street and two-storey massing maintains the character of the area and is visually and historically tied to its surroundings. The heritage attributes include the limestone building, original openings, and hipped roof.

**110 Ordnance Street** (Part Lot 412 Original Survey Kingston City; Part Lot 413 Original Survey Kingston City as in FR440285; City of Kingston, County of Frontenac), known as the Crowley House; and

**112 Ordnance Street** (Part Lot 413 Original Survey Kingston City Part 1 13R16746; City of Kingston, County of Frontenac), known as the Crowley House:

Located on the south side of Ordnance Street and spanning two separate properties, the two-storey limestone double house, known as the Crowley House, is a representative example of a Georgian-influenced late-19<sup>th</sup> century urban residence, with several unique architectural features. The original fenestration pattern, consisting of equally proportioned mirrored bays on two stories, with central twin arched doorways, remain extant. The house was built for Irish emigrants Mary and Charles Crowley. Charles was an active member of the Catholic Mutual Benevolent Association, whose insignia (a harp with shamrocks)

appears to be represented in the decorative keystones over the twin doorways. With its shallow setback, regular fenestration pattern, limestone construction, age and location on Ordnance Street, the Crowley House shares a visual and historical relationship with its surroundings and is significant in defining the character of this all-limestone streetscape. Its heritage attributes include its massing and limestone construction, gable roof, fenestration pattern and various stone details including the decorative keystones.

**114 Ordnance Street** (Part Lot 413 Original Survey Kingston City, as in FR627659; S/T & T/W FR627659; Subject to an Easement over Part 1, 13R2702 in Favour of Parts 2-4, 13R2702 as in FC225922; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace; and

**116 Ordnance Street** (Part Lot 413 Original Survey Kingston City, Part 2- 4 13R2702; S/T & T/W FR295792; Together with an Easement over Part 1, 13R2702 as in FC225922; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace; and

**118 Ordnance Street** (Part Lot 413 Original Survey Kingston City; Part Lot 414 Original Survey Kingston City Part 5, 6 13R2702; S/T & T/W FR715232; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace:

Situated on the south side of the street and spanning three separate properties, the Ordnance Street Terrace consists of three attached two storey limestone residential units. With little ornamentation, this limestone terrace exemplifies the simple Georgian proportions and symmetrical fenestration pattern that define the Georgian architectural style in a 19th-century classically balanced urban terraced housing. With its shallow setback, regular fenestration pattern, limestone construction, age and location on Ordnance Street, the Ordnance Street Terrace shares a visual and historical relationship with its surroundings and is significant in defining the character of this all-limestone streetscape. Heritage attributes include the two-storey, six-bay massing and limestone construction, steeply pitched gable roof and original openings.

**124 Ordnance Street** (Part Lot 414 Original Survey Kingston City as in FR480641; S/T interest in FR480641; City of Kingston, County of Frontenac); and

**251 Sydenham Street** (Part Lot 414 Original Survey Kingston City as in FR496131; S/T interest in FR496131; City of Kingston, County of Frontenac):

Located on the southeast corner of Ordnance and Sydenham Streets and spanning two separate properties, the two-storey limestone dwelling, is representative of a Georgian-influenced late-19th century classically balanced urban residence. With little ornamentation, this prominent limestone home (now two units) exemplifies the simple Georgian proportions and symmetrical fenestration pattern that defines the Georgian architectural style. With its shallow setback, regular fenestration pattern, limestone construction, age and presence on the Ordnance and Sydenham Street corner, the subject properties share a visual and historical relationship with its surroundings and helps to define and

maintain the character of this all-limestone streetscape. Its heritage attributes include its massing and limestone construction, truncated hip roof, and symmetrical fenestration pattern.

**201 Princess Street/ 30-32 Montreal Street** (Part Lot 307 Original Survey Kingston City as in FR281829; S/T & T/W FR281829; now City of Kingston, County of Frontenac):

Situated on the northwest corner of Princess and Montreal Streets, in downtown Kingston, this narrow 8.5 metre wide, 365 square metre property, contains an example of a mid-19<sup>th</sup> century purpose-built commercial and residential building. This three-storey brick building displays a high degree of craftsmanship and artistic merit, particularly through its Italianate design and use of various architectural detailing, such as ornate brick design, polychromatic brick elements, bracketing and an embellished cornice. It was built in 1877 to plans by well-known Kingston architectural firm, Power and Son. Known for their designs of many downtown landmark buildings, such as the McIntosh Castle and Frontenac County Courthouse, John and Joseph Power showed their enthusiasm for designing corner buildings and, despite the constraints of this long narrow lot, demonstrated their creativity by exaggerating its narrowness with the use of tall narrow windows, multi-storey pilasters and oversized brackets. With its distinctive polychromatic brickwork and architectural detailing, together with its prominent corner location, this property is a landmark along Princess Street and supports the historic and eclectic commercial character of downtown Kingston. Heritage attributes include the three-storey brick building, symmetrical fenestration pattern, traditional commercial façade, flat roof with parapet wall, deep decorative cornice, and various wooden, brick and limestone architectural detailing.

**207 Wellington Street** (Part Lot 112 Original Survey Kingston City; Part Lot 117 Original Survey Kingston City as in FR436803 T/W FR685912; City of Kingston, County of Frontenac), known as the Crothers Building:

Located on the east side of the Wellington Street, between Princess and Queen Streets in downtown Kingston, the three-storey limestone and brick commercial building, is representative of Victorian architecture with Georgian-influences for a late-19<sup>th</sup> century commercial building. Its limestone façade is relatively symmetrical and plain with its evenly spaced windows and ashlar string courses at each floor level. However, distinctly Victorian taste is evident in the window size and proportions, which are the same size on each floor, and the ornate metal cornice with brackets and dentils above the third floor. The building was built in c.1887 and was home to the W.J. Crothers Biscuit and Confectionary company well into the 20<sup>th</sup> century. Crothers products were successful in Canada and abroad. The property's location and architectural style, including painted metal cornice, which matches the adjacent building to the south, links it visually and historically to its surroundings through shared architectural finishes and common usage as a confectionary, and helps maintains and supports the character of



Wellington Street. Its heritage attributes include its massing and limestone construction, decorative metal cornice and symmetrical fenestration pattern.

**4017 Unity Road** (East 1/2 of NE 1/4 Lot 10 CON 5 Western Addition Kingston, Except Part 5 RP1561; City of Kingston, County of Frontenac):

Located on an approximately 10-hectare rural parcel on the south side of the road, in the former Kingston Township, the property includes a rare example of a Regency style limestone two-storey farmhouse. This architectural style is unusual in the rural area of Kingston. This property exemplifies this style through its simple, functional design with modest ornamentation that includes a steep hip roof featuring wide overhanging eaves, square-plan and symmetrical front façade with central entrance flanked by large window openings. Its distinctive architecture and limestone construction make it a landmark in the area. Its heritage attributes include its massing and limestone construction, hip roof, symmetrical fenestration pattern and its gable-roofed west wing.

**Additional information**, including a full description of the reasons for designation is available upon request from Ryan Leary, Senior Heritage Planner, Heritage Services at 613-546-4291, extension 3233, or at [rleary@cityofkingston.ca](mailto:rleary@cityofkingston.ca) during regular business hours.

Any notice of objection to this notice of intention to designate the property, setting out the reason for objection and all relevant facts, must be served upon the City Clerk within 30 days of the first publication of this notice.

**Dated** at the City of Kingston

Janet Jaynes, City Clerk

This XXX day of XXXX, 2024

City of Kingston

--- Newspaper Version--

**Notice of Intention to Pass By-Laws to Designate  
The following properties to be of Cultural Heritage Value and Interest Pursuant to  
the Provisions of the *Ontario Heritage Act* (R.S.O. 1990, Chapter 0.18)**

**Take Notice** that the Council of The Corporation of the City of Kingston intends to pass by-laws under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, to designate the following lands to be of cultural heritage value and interest:

**101 Logan Street** (Part Lot 21 N/S Logan St, 22 NW/S Yonge St Plan 54 Kingston City Part 2 13R8868 S/T Interest in FR506397; City of Kingston, County of Frontenac), known as Mrs. Dawson's Tavern; and

**103 Logan Street** (Part Lot 21 N/S Logan St Plan 54 Kingston City Part 1 13R8868; City of Kingston, County of Frontenac), known as Mrs. Dawson's Tavern; and

**110 Ordnance Street** (Part Lot 412 Original Survey Kingston City; Part Lot 413 Original Survey Kingston City as in FR440285; City of Kingston, County of Frontenac), known as the Crowley House; and

**112 Ordnance Street** (Part Lot 413 Original Survey Kingston City Part 1 13R16746; City of Kingston, County of Frontenac), known as the Crowley House; and

**114 Ordnance Street** (Part Lot 413 Original Survey Kingston City, as in FR627659; S/T & T/W FR627659; Subject to an Easement over Part 1, 13R2702 in Favour of Parts 2-4, 13R2702 as in FC225922; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace; and

**116 Ordnance Street** (Part Lot 413 Original Survey Kingston City, Part 2- 4 13R2702; S/T & T/W FR295792; Together with an Easement over Part 1, 13R2702 as in FC225922; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace; and

**118 Ordnance Street** (Part Lot 413 Original Survey Kingston City; Part Lot 414 Original Survey Kingston City Part 5, 6 13R2702; S/T & T/W FR715232; City of Kingston, County of Frontenac), known as the Ordnance Street Terrace; and

**124 Ordnance Street** (Part Lot 414 Original Survey Kingston City as in FR480641; S/T interest in FR480641; City of Kingston, County of Frontenac); and

**251 Sydenham Street** (Part Lot 414 Original Survey Kingston City as in FR496131; S/T interest in FR496131; City of Kingston, County of Frontenac); and

**201 Princess Street/ 30-32 Montreal Street** (Part Lot 307 Original Survey Kingston City as in FR281829; S/T & T/W FR281829; now City of Kingston, County of Frontenac); and

**207 Wellington Street** (Part Lot 112 Original Survey Kingston City; Part Lot 117 Original Survey Kingston City as in FR436803 T/W FR685912; City of Kingston, County of Frontenac), known as the Crothers Building; and

**4017 Unity Road** (East 1/2 of NE 1/4 Lot 10 CON 5 Western Addition Kingston, Except Part 5 RP1561; City of Kingston, County of Frontenac).

**Additional information**, including a full description of the reasons for designation is available on the City of Kingston website at [www.cityofkingston.ca/heritage](http://www.cityofkingston.ca/heritage) and upon request from Ryan Leary, Senior Heritage Planner, Heritage Services at 613-546-4291, extension 3233, or at [rleary@cityofkingston.ca](mailto:rleary@cityofkingston.ca) during regular business hours.

Any notice of objection to this notice of intention to designate the property, setting out the reason for objection and all relevant facts, must be served upon the City Clerk within 30 days of the first publication of this notice.

**Dated** at the City of Kingston

Janet Jaynes, City Clerk

This XXX day of XXX, 2024

City of Kingston

**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the properties at 101 and 103 Logan Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2010;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property at 101 and 103 Logan Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*;

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore, *Council* enacts:**

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.



City of Kingston By-Law Number 2024-XX

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

**Schedule “A”**  
**Description and Criteria for Designation**  
**Mrs. Dawson’s Tavern**

Civic Address:	101 Logan Street
Legal Description:	Part Lot 21 N/S Logan St, 22 NW/S Yonge St Plan 54 Kingston City Part 2 13R8868 S/T Interest in FR506397; City of Kingston, County of Frontenac
Property Roll Number:	1011 070 090 01500
Civic Address:	103 Logan Street
Legal Description:	Part Lot 21 N/S Logan St Plan 54 Kingston City Part 1 13R8868; City of Kingston, County of Frontenac
Property Roll Number:	1011 070 090 01400

**Introduction and Description of Property**

Mrs. Dawson’s Tavern, located at 101 and 103 Logan Street is located on the north side of Logan Street, on the northwest side of the intersection between Logan and Yonge streets, in Portsmouth Village in the City of Kingston. Spanning two separate properties, Mrs. Dawson’s Tavern consists of a two-storey limestone double house. The building, designed by William Coverdale, was constructed in 1856 for Frances Dawson as a tavern; later additions were added to the rear of building in 2001 (101) and 1998 (103).

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

Mrs. Dawson’s Tavern is a representative example of a modest and restrained mid-19<sup>th</sup>-century Regency style residence with little ornamentation. The Regency style (1820-1860) is best known for its central entranceways, flanking large windows and hipped roof with twin chimneys. Unfortunately, the chimneys have been removed, but Mrs. Dawson’s Tavern retains its original roof design and fenestration pattern with smooth stone sill and voussoirs. The first storey has centrally placed twin doorways flanked by larger rectangular windows. The second floor contains four windows all in line with the ground floor openings, in the balanced symmetrical arrangement typical of the Regency style. The limestone masonry on the façade is hammer-dressed and laid in even courses, with no quoining or decorative features, and is uncoursed on the side elevations. The front porch was added in the early 20<sup>th</sup> century.

The location of the building provides maximum visual effect and best possible views to and from the water, a typical feature of the Regency style. Mrs. Dawson's Tavern was strategically located at a prominent and highly visible location at the bend in Yonge Street, which provided direct views to the water, and possibly helped to attract patrons entering by ship.

*The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*

Mrs. Dawson's Tavern has historical/associative value through its association with local architect William Coverdale. William Coverdale moved to Kingston in 1832-3 and was hired as the Master Builder for Kingston Penitentiary in 1834, which was already under construction. Coverdale was a prolific and well-known architect in the Kingston area and beyond. His designs, while varied, appear to be largely based on symmetry and stability, resulting in sturdy and visually balanced structures. Some of his most prominent downtown Kingston landmarks include the north gates of Kingston Penitentiary, the Rockwood Asylum, and St. James and Sydenham Street Churches. Coverdale was also responsible for a number of grand residential buildings in the area, such as Rosemount (Sydenham Street), Elmhurst (Centre Street), Lake View (Beverley Street), Eldon Hall (Portsmouth Ave) and St. Helen's (King Street West).

While William Coverdale is well known for his large dominating and influential buildings, perhaps less is known of his more modest and simpler designs. Mrs. Dawson's Tavern is an example of Coverdale's work on a modest building and in a style not typically associated with Coverdale (Regency). Mrs. Dawson's Tavern is a rare surviving example of Coverdale's interpretation of the Regency Style in a prominently sited modest commercial/residential building.

Frances Dawson, a tavern keeper, hired William Coverdale to design this double house in 1856. It appears that its use as a tavern was short lived as the 1859 assessment indicates that Mrs. Dawson was renting the building to William Kennedy and William McDonald and their families. By 1863 the building was sold to James Morton.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.*

The property located at 101-103 Logan Street maintains the character of the area through its limestone construction and two-storey massing; features that are visible in residential and commercial properties along Logan and Yonge Streets as well as throughout the former village of Portsmouth. In particular, the properties' shallow setback, regular fenestration pattern, limestone construction, age and prominent location at Yonge and Logan streets, Mrs. Dawson's Tavern demonstrates a visual and

historical relationship with its surroundings, particularly the houses at 107 Logan Street and 61 Yonge Street. As part of this group of buildings, Mrs. Dawson's Tavern helps define the historic limestone character of this portion of Portsmouth Village.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Two-storey, four-bay massing with low pitched hip roof;
- Coursed (on the front/south façade) and uncoursed (on the side elevations), squared and hammer-dressed limestone construction; and
- Regular pattern of window and door openings on the south and east elevations with stone voussoirs and stone window sills.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the properties at 110 and 112 Ordnance Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2013;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property municipally known as the Crowley House at 110 and 112 Ordnance Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*;

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore, *Council* enacts:**

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

City of Kingston By-Law Number 2024-XX

**Schedule "A"**  
**Description and Criteria for Designation**  
**Crowley House**

Civic Address: 110 Ordnance Street

Legal Description: Part Lot 412 Original Survey Kingston City; Part Lot 413 Original Survey Kingston City as in FR440285; City of Kingston, County of Frontenac

Property Roll Number: 1011 030 070 11600

Civic Address: 112 Ordnance Street

Legal Description: Part Lot 413 Original Survey Kingston City Part 1 13R16746; City of Kingston, County of Frontenac

Property Roll Number: 1011 030 070 11700

**Introduction and Description of Property**

The Crowley House, located at 110 and 112 Ordnance Street is located on the south side of Ordnance Street, between Montreal and Sydenham Streets, in the City of Kingston. Spanning two separate properties, the Crowley House consists of two-storey limestone double house. The house was constructed in 1886 for Mary and Charles Crowley.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

The Crowley House is a representative example of a Georgian-influenced late 19<sup>th</sup>-century urban residence. Unlike its neighbours at 114-118 Ordnance Street, the Crowley House exhibits several unique architectural and decorative features. This limestone dwelling demonstrates the simple proportions and symmetrical fenestration pattern that define the Georgian architectural style. The original fenestration pattern remains with projecting bay windows flanking the entrance doorways on the first floor and four equally spaced windows on the second floor. Each bay has a large double window separated by a stone mullion and topped with a flat roof resting on decorative wooden brackets. The first storey has centrally placed twin doorways, each with a rounded stone arch enclosing a transom light. Openings on both the first and second floors are bordered by smooth stone sills and voussairs.

The limestone is hammer-dressed and laid randomly (uncoursed), with decorative keystones over the main entrances and diamond shaped embellishments between the windows on the twin bays. The house was built by/for Irish emigrants Mary and Charles

Crowley. Charles was a laborer and seaman as well as an active member of the Catholic Mutual Benevolent Association, whose insignia (a harp with shamrocks) appears to be represented in the decorative keystones over the twin entranceways. The limestone building may have been built by, or with the assistance of, former owner and stone mason, George Wilson, who sold the property to Mary Crowley in 1886 and who built, owned and lived in the limestone terrace at 114-118 Ordnance Street.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.*

The Crowley House is significant in defining the character of the streetscape on Ordnance Street, between Sydenham and Montreal streets. In the shadow of the former Clergy-lands, now Providence Manor, and terminating at the 1841 Wellington Terrace at Montreal Street, this block of Ordnance Street has a consistent and distinct character consisting of mostly two-storey 19<sup>th</sup> century limestone residences.

With its shallow setback, regular fenestration pattern, limestone construction, age and location on Ordnance Street, the Crowley House shares a visual and historical relationship with its surroundings, particularly the houses at 114-118 Ordnance Street and 124 Ordnance Street/251 Sydenham Street, as well as the stone buildings of Providence Manor. As part of this group of buildings, the Crowley House helps maintain the historic limestone character of this portion of Ordnance Street.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Two-storey, four-bay massing with medium pitched gable roof, with brick chimney;
- Uncoursed, hammer-dressed limestone construction;
- Regular pattern of original window and door openings on the north elevation with stone voussoirs and stone window sills;
- Flat-roofed bays on north elevation resting on decorative wooden brackets;
- Keystones over doorways with harp, shamrocks and date '1886'; and
- Diamond-shaped limestone embellishments between windows on the bays.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the properties at 114, 116 and 118 Ordnance Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2010;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property municipally known as the Ordnance Street Terrace at 114, 116 and 118 Ordnance Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*,

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore**, *Council* enacts:

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
  
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

City of Kingston By-Law Number 2024-XX

**Schedule “A”**  
**Description and Criteria for Designation**  
**Ordnance Street Terrace**

Civic Address: 114 Ordnance Street

Legal Description: Part Lot 413 Original Survey Kingston City, as in FR627659; S/T & T/W FR627659; Subject to an Easement over Part 1, 13R2702 in Favour of Parts 2-4, 13R2702 as in FC225922; City of Kingston, County of Frontenac

Property Roll Number: 1011 030 070 11800

Civic Address: 116 Ordnance Street

Legal Description: Part Lot 413 Original Survey Kingston City, Part 2- 4 13R2702; S/T & T/W FR295792; Together with an Easement over Part 1, 13R2702 as in FC225922; City of Kingston, County of Frontenac

Property Roll Number: 1011 030 070 11900

Civic Address: 118 Ordnance Street

Legal Description: Part Lot 413 Original Survey Kingston City; Part Lot 414 Original Survey Kingston City Part 5, 6 13R2702; S/T & T/W FR715232; City of Kingston, County of Frontenac

Property Roll Number: 1011 030 070 12000

**Introduction and Description of Property**

The Ordnance Street Terrace, located at 114, 116 and 118 Ordnance Street is located on the south side of Ordnance Street, between Montreal and Sydenham Streets, in the City of Kingston. The terrace consists of three attached two-storey limestone residential buildings on three separate properties. The buildings were constructed in 1874 for George Wilson a mason, who rented out two units and resided in one.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

The Ordnance Street Terrace is a representative example of Georgian influenced, 19<sup>th</sup>-century classically balanced urban terraced housing. With little ornamentation, this limestone terrace exemplifies the simple Georgian proportions and symmetrical fenestration pattern that define the Georgian architectural style. The original fenestration

pattern consists of six (6) equally proportioned bays on two stories (two per unit), with a door on the eastern bay of each unit. The openings are bordered by smooth stone sills and tall voussoirs. The limestone masonry on the façade is hammer-dressed and laid in even courses, with no quoining or decorative features, and uncoursed on the side elevations. The terrace is topped by a steeply pitched gable roof.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.*

The limestone Ordnance Street Terrace is significant in defining the character of the streetscape on Ordnance Street, between Sydenham and Montreal streets. In the shadow of the former Clergy-lands, now Providence Manor, and terminating at the 1841 Wellington Terrace at Montreal Street, this block of Ordnance Street has a consistent and distinct character consisting of mostly two-storey 19<sup>th</sup> century limestone residences.

With its shallow setback, regular fenestration pattern, limestone construction, age and location on Ordnance Street, the Ordnance Street Terrace shares a visual and historical relationship with its surroundings, particularly the houses at 110-112 Ordnance Street and 124 Ordnance Street/251 Sydenham Street, as well as the stone buildings of Providence Manor. As part of this group of buildings, the Ordnance Street Terrace helps maintain the historic limestone character of this portion of Ordnance Street.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Two-storey, six-bay massing with steeply pitched gable roof;
- Coursed (on the front/north façade) and uncoursed (on the side elevations), squared and hammer-dressed limestone construction; and
- Regular pattern of original window and door openings on the north elevation with stone voussoirs and stone window sills.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the properties at 124 Ordnance Street and 251 Sydenham Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2016;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property at 124 Ordnance Street and 251 Sydenham Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*;

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore,** *Council* enacts:

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

**Schedule "A"**  
**Description and Criteria for Designation**

Civic Address:	124 Ordnance Street
Legal Description:	Part Lot 414 Original Survey Kingston City as in FR480641; S/T interest in FR480641; City of Kingston, County of Frontenac
Property Roll Number:	1011 030 070 12100
Civic Address:	251 Sydenham Street
Legal Description:	Part Lot 414 Original Survey Kingston City as in FR496131; S/T interest in FR496131; City of Kingston, County of Frontenac
Property Roll Number:	1011 030 050 12200

**Introduction and Description of Property**

The subject properties, at 124 Ordnance Street and 251 Sydenham Street, are located on the southeast corner of Sydenham and Ordnance Streets, on the south side of Ordnance Street, in the City of Kingston. Spanning two separate properties, the two-storey limestone dwelling was built circa 1870 on lands purchased from the estate of former Kingston Mayor, Overton Gildersleeve.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

This limestone dwelling is a representative example of a Georgian-influenced, 19<sup>th</sup> century classically balanced urban residence. With little ornamentation, this prominent limestone home (now two units) exemplifies the simple Georgian proportions and symmetrical fenestration pattern that defines the Georgian architectural style. The original fenestration pattern remains, with smooth stone sill and tall voussoirs bordering the openings. The building consists of three equally proportioned bays on two stories, with a central doorway on the north and west elevations. The limestone is laid in courses with no quoining or decorative detailing and topped by a truncated hip roof.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.*

The subject properties are significant in defining the limestone character of the intersection at Ordnance and Sydenham streets, as well the character of the streetscape on Ordnance Street, between Sydenham and Montreal streets. In the shadow of the former Clergy-lands, now Providence Manor, and terminating at the 1841 Wellington Terrace at Montreal Street, this block of Ordnance Street has a consistent and distinct character consisting of mostly two-storey 19<sup>th</sup> century limestone residences.

With its shallow setback, regular fenestration pattern, limestone construction, age and presence on the Ordnance and Sydenham Street corner, the subject properties share a visual and historical relationship with its surroundings, particularly the houses at 110-118 Ordnance Street, 254-268 Sydenham Street as well as the stone buildings of Providence Manor. As part of this group of buildings, the subject properties help maintain the historic limestone character of this portion of Ordnance Street.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Two-storey, three-bay (on two elevations) massing with truncated hip roof;
- Coursed, squared and hammer-dressed limestone construction; and
- Symmetrical arrangement of original window and door openings on the north and west elevations with tall stone voussoirs and stone window sills.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate 201 Princess Street / 30-32 Montreal Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2010:

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property at 201 Princess Street / 30-32 Montreal Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*;

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore, *Council* enacts:**

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

City of Kingston By-Law Number 2024-XX

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

**Schedule “A”**  
**Description and Criteria for Designation**

Civic Address: 201 Princess Street / 30-32 Montreal Street  
Legal Description: Part Lot 307 Original Survey Kingston City as in FR281829;  
S/T & T/W FR281829; now City of Kingston, County of  
Frontenac  
Property Roll Number: 101103008007900

**Introduction and Description of Property**

The subject property, located at 201 Princess Street and 30-32 Montreal Street, contains the three-storey brick corner building, built in 1877 to plans by Power and Son architects. It is situated on the northwest corner of Princess Street and Montreal Street on an 8.5 metre wide, 365 square metre lot in downtown Kingston.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

*The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.*

The property at 201 Princess/30-32 Montreal Street has physical/design value as a representative example of a mid-19<sup>th</sup> century building purpose-built for both commercial and residential purposes. Character defining elements that reflect this value include its tall, narrow, three-bay by twelve-bay, polychromatic brick construction resting on a limestone foundation. This prominent corner building includes a traditional (likely not original) ground-floor storefront with extensive glazing, recessed main door, a sign band, decorative pilaster and a prominent corner column, which reflects its intended commercial purposes. The second and third residential stories include tall narrow semi-circular arched and flat headed window openings with limestone sills.

The property displays a high degree of craftsmanship and artistic merit through its Italianate design and use of various architectural detailing, such as ornate brick design, polychromatic brick elements, bracketing, and an embellished cornice. Key design details include: brick corbels that form arches to divide the twinned brackets supporting a wide decorative wooden cornice and brick parapet; buff-coloured bricks used throughout to add interest and detailing to the red brick building; and arched openings on the ground floor along the Montreal Street elevation, including a carriageway. This arcade effect may have extended the length of this elevation at one time, but many have been removed or blinded. These design details are unique in Kingston when compared with other commercial brick buildings of this era.

*The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*

The subject property has historical/associative value through its association with the well-known local architectural firm of Power and Son. The Power and Son firm designed many prominent downtown landmarks such as McIntosh Castle, Fire Hall No.1, and the Frontenac County Registry Office. The building at 201 Princess/30-32 Montreal Street shows the firm's enthusiasm for designing corner buildings in the heart of Kingston. Like the Millan Building at 53 Princess Street, John and Joseph Power took advantage of the visibility and prominence of this corner location, and despite the constraints of this long narrow lot, the Power firm demonstrated their creativity by exaggerating its narrowness with the use of tall narrow windows, multi-storey pilasters, and oversized brackets. Buff-coloured brick accents, a mix of window arrangements and styles, an arched ground-level arcade and various brick and wooden detailing furthered the prominence and distinctiveness of this building.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is a landmark.*

The subject property has contextual value as it supports and maintains the historic and eclectic commercial character of downtown Kingston, which includes various 19<sup>th</sup> and early 20<sup>th</sup> century buildings constructed of brick, stone and wood, typically at two to three stories in height.

The building's distinctive polychromatic brickwork and architectural detailing, together with its prominent corner location makes it a landmark along Princess Street.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Three storey brick building, with symmetrical fenestration pattern of arched and flat-headed openings, including a carriageway;
- Flat roof with parapet wall, deep decorative cornice, held up by large twinned brackets;
- Traditional wooden commercial façade at the corner, with decorative pilaster, large corner column, recessed entranceway, sign band and large shop windows; and
- Architectural detailing, including buff-coloured bricks above windows and forming a belt courses, limestone sills and labels, and large wooden window surrounds flanking the Montreal Street storefront entrance.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the property at 207 Wellington Street to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2010;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property municipally known as the Crothers Building at 207 Wellington Street (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*;

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore, *Council* enacts:**

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

City of Kingston By-Law Number 2024-XX

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

**Schedule “A”**  
**Description and Criteria for Designation**  
**Crothers Building**

Civic Address: 207 Wellington Street  
Legal Description: Part Lot 112 Original Survey Kingston City; Part Lot 117  
Original Survey Kingston City as in FR436803 T/W  
FR685912; City of Kingston, County of Frontenac  
Property Roll Number: 1011 030 090 03200

**Introduction and Description of Property**

The Crothers Building at 207 Wellington Street, is located on the east side of Wellington Street on the block bounded by Princess Street to the south and Queen Street to the north, in the City of Kingston. The property contains a three-storey limestone and brick masonry commercial building, constructed between 1885-1890. The Crothers Building forms part of a commercial row along the east side of Wellington Street.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

The Crothers Building is an unusual example of Victorian commercial architecture as it combines the simple classical massing of Georgian architecture with Victorian proportions and detailing. For example, its stone façade is relatively symmetrical and plain with its evenly spaced windows and ashlar string courses at each floor level. However, distinctly Victorian taste is evident in the window size and proportions, which are the same size on each floor, the slightly recessed northerly bay with tall vertical entrance and window, and the ornate metal cornice with brackets and dentils above the third floor. The Victorian influence is in keeping with its 1885-1890 construction date. The metal cornice largely matches that on the adjacent building to the south, demonstrating a visual link between the buildings. It is possible that they were installed concurrently to provide unity along the row. Other defining architectural elements include the plain ashlar stone plinth on the foundation of the recessed bay, the smaller than typical limestone units with hammer dressed finish, and the flat stone arches over windows and stone sills below.

*The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.*

The Crothers Building was home to the W.J. Crothers Co. Ltd. Biscuit and Confectionary Manufacturers for most of the company’s existence. The company was established by brothers, William and Hutchinson circa 1869. The brothers purchased

the lot at 207 Wellington when they purchased the adjacent property at 203-205 Wellington Street in 1871. The Crothers Building formed part of the candy and biscuit factory along Wellington Street, which also included a three-storey adjoining brick building to the north (since demolished), constructed circa 1903 and designed by William Newlands, well-known local architect. W.J. Crother's products were successful in Canada and internationally. From 1920 onwards, their "Prince of Wales Chocolates" were produced by Royal Appointment to His Royal Highness, the Prince of Wales. This recognition was in acknowledgement of Canada's service to Britain during the First World War.

*The property has contextual value because it is important in defining, maintaining or supporting the character of an area.*

*The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.*

The property's location maintains and supports the character of Wellington Street as part of the adjoining historic commercial row, which forms part of Kingston's historic downtown. Its architectural style, including painted metal cornice, which matches the adjacent building to the south, links it visually and historically to its surroundings through shared architectural finishes and common usage as a confectionary.

### **Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Three-storey massing with four bays, the most northerly being slightly recessed;
- Limestone masonry, with random hammer dressed stone finish and smaller than typical stone masonry units;
- Limestone foundation with plain ashlar stone plinth on the foundation of the recessed bay;
- Stone string course at the third storey and at the second storey on the three-bay portion;
- Original window openings with flat arches and stone sills;
- Original door and window opening in the recessed bay; and
- Decorative painted sheet-metal cornice with brackets and dentils.



**City of Kingston By-Law Number 2024-XX**

**A By-Law to Designate the property at 4017 Unity Road to be of Cultural Heritage Value and Interest Pursuant to the *Ontario Heritage Act***

**Passed:** [insert date]

**Whereas:**

Subsection 29(1) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 (the "*Ontario Heritage Act*") authorizes the council of a municipality to enact by-laws to designate property within the municipality, including buildings and structures on the property, to be of cultural heritage value or interest;

The *property* was listed on the register established pursuant to Section 27 of the *Ontario Heritage Act* in 2016;

On December 20, 2023, Council of the City of Kingston ("*Council*") consulted with its municipal heritage committee regarding the designation of the property at 4017 Unity Road (the "*property*") in accordance with subsection 29(2) of the *Ontario Heritage Act*,

On [insert date], *Council* caused notice of its intention to designate the *property* to be given to the owner of the *property* and to the Ontario Heritage Trust (the "*Trust*"), and on [insert date], notice of the intent to designate the *property* was published in The Kingston Whig-Standard, a newspaper having general circulation in the City of Kingston; and

No notice of objection to the proposed designation was served on the municipal Clerk (the "*Clerk*") of the Corporation of the City of Kingston (the "*City*") within the time prescribed by subsection 29(5) of the *Ontario Heritage Act*.

**Therefore, *Council* enacts:**

1. The *property* is designated as being of cultural heritage value and interest, as more particularly described in Schedule "A" of this by-law.
2. A copy of this by-law will be registered against the *property* in the appropriate land registry office. The *Clerk* is authorized to serve a copy of this by-law on the owner of the *property* and the *Trust*, and to cause notice of the passing of this by-law to be published in The Kingston Whig-Standard.

3. The *City* reserves the right to install a designation recognition plaque on the *property*, in a location and style determined by the *City* in consultation with the owner.
4. This by-law will come into force and take effect on the date it is passed.

Given First and Second Readings XXX, 2024

Given Third Reading and Passed XXX, 2024

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**Janet Jaynes**  
**City Clerk**

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**Bryan Paterson**  
**Mayor**

**Schedule “A”**  
**Description and Criteria for Designation**

Civic Address: 4017 Unity Road  
Legal Description: East 1/2 of NE 1/4 Lot 10 CON 5 Western Addition Kingston,  
Except Part 5 RP1561; City of Kingston, County of  
Frontenac  
Property Roll Number: 1011 080 220 17800 0000

**Introduction and Description of Property**

The property located at 4017 Unity Road is situated on the south side of the road, in the former Township of Kingston, now the City of Kingston. The approximately 10-hectare rural parcel contains a two storey classically balanced farmhouse, constructed prior to 1860 with several additions and a number of rural outbuildings and barns.

**Statement of Cultural Heritage Value/Statement of Significance**

*The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.*

4017 Unity Road is a rare example of a 19<sup>th</sup> century Regency farmhouse. The two-storey farmhouse exhibits a Regency architectural style through its simple, functional design with modest ornamentation that includes a steep hip roof featuring wide overhanging eaves. The square-plan structure is constructed of limestone laid in even courses. The front façade is symmetrical, with a central entrance flanked by window openings. Sidelights, a large transom, and tall segmentally arched limestone voussoirs, border the front entry. Window openings feature stone sills, tall segmentally arched limestone voussoirs and shutters. Both the entrance and window openings are segmentally arched. The east elevation is also symmetrical, with two bays and large window openings. The front porch on the north elevation was added in 2019.

A three-bay gable roof limestone structure is attached to the west elevation, possibly an earlier stone dwelling. Its façade is symmetrical with a central door flanked by windows with stone sills and shutters.

The property also features several outbuildings, including a wooden barn with a gable roof and a rear addition, located immediately south of the stone dwelling, likely constructed prior to 1900.

*The property has contextual value because it is a landmark.*

4017 Unity Road is a prominent farmhouse located on a historic and active farm that defines the rural character of Unity Road. In particular, the two-storey Regency farmhouse offers a unique example of this form in an agricultural setting while still maintaining the rural character of the area. Its distinctive architecture and limestone construction make it a landmark in the area.

### **Cultural Heritage Attributes**

Key exterior elements that contribute to the property's cultural heritage value include its:

- Two storey square-plan Regency farmhouse, constructed of limestone laid in even courses, with a steep hip roof and wide overhanging eaves;
- Symmetrical fenestration with stone sills, tall segmentally arched limestone voussoirs and shutters, and a prominent central entrance, flanked by large rectangular window openings; and
- Gable roof wing attached to the west elevation, with symmetrical fenestration, stone sills and shutters.



101 & 102 Logan Street –  
Mrs. Dawson's Tavern



110 & 112 Ordnance Street –  
Crowley House



114, 116 & 118 Ordnance Street -  
Ordnance Street Terrace



124 Ordnance Street & 251 Sydenham Street





# 201 Princess Street / 30-32 Montreal Street



Google 2020-1

## 207 Wellington Street – Crothers Building



4017 Unity Road



**Permit Reporting to Committee**

<b>File Number</b>	<b>Stream Type</b>	<b>Status</b>	<b>Property Address</b>	<b>Scope of Work</b>	<b>Planner</b>
P18-083-2023	Stream 1	Permit Issued	328 King St. E	Window Repairs and Replacement	RL
P18-087-2023	Stream 2	Permit Issued	82 Sydenham St.	Interior Works	PP
P18-089-2023	Stream 1	Permit Issued	117 Bagot St.	Reinstatement of door and transom	PP
P18-093-2023	Stream 1	Permit Issued	178 Ordnance St.	Installation of Exhaust Vent in Rear Yard	NK
P18-094-2023	Stream 1	Permit Issued	203 William St.	Roofing	PP